



**AGENDA  
PLANNING & ZONING COMMISSION  
TUESDAY, JUNE 14, 2016**

The Planning and Zoning Commission will convene into a Work Session at 6:30 p.m. **(time listed is approximate)** in the City Hall Conference Room at the Municipal Center, 4000 Main Street, Rowlett, at which time the following items will be considered:

- i. Call to Order.
- ii. Discuss items on the regular agenda.
- iii. Adjourn.

The Planning and Zoning Commission will convene into a Regular Meeting at 7:00 p.m. in the City Hall Chambers at the Municipal Center, 4000 Main Street, Rowlett, at which time the following items will be considered:

**A. CALL TO ORDER**

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1. Update Report from Staff.

**B. CONSENT AGENDA**

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1. Minutes of the Planning and Zoning Commission Meetings of May 24, 2016.

**C. ITEMS FOR INDIVIDUAL CONSIDERATION**

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1. Conduct a public hearing and make a recommendation on a request for a Special Use Permit to allow an accessory building that does not meet the requirements in Section 77-303 of the Rowlett Development Code. The subject property is located at 7714 Princeton Road further described as being a 6.89 +/- acres located in Tract 53.1 of the Hanse Hamilton Survey, Abstract 548, Page 595, City of Rowlett, Dallas County, Texas.
2. Conduct a public hearing and make a recommendation to City Council on a request for a rezoning from General Commercial/Retail (C-2) Zoning District to a Planned Development District with an underlying C-2 base zoning district to allow an assisted living/memory care facility. The subject property is located at 4906 Miller Road further described as being 3.639 +/- acres in the Oliver V Ledbetter Survey, Abstract No. 790, City of Rowlett, Dallas County, Texas.
3. Conduct a public hearing and make a recommendation to City Council on a request for a rezoning from Single Family-10 and Single Family-8 Zoning Districts to a Planned Development District with

an underlying zoning of Single Family 5 for the purpose of constructing a single family neighborhood. The subject property is located at 7900 Chiesa Road further described as being 22.06 +/- acres consisting of all of Tract I in the James Saunders Survey, Abstract No. 1424, and a portion of Lot 1, Block 1, Crossroads Church Addition, City of Rowlett, Dallas County, Texas.

#### **D. ADJOURNMENT**

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NOTE: THE PLANNING AND ZONING COMMISSION MAY RETIRE AND CONVENE INTO EXECUTIVE, CLOSED SESSION ON ANY MATTER RELATED TO ANY OF THE ABOVE AGENDA ITEMS FOR THE PURPOSES OF PRIVATE CONSULTATION WITH THE CITY ATTORNEY UNDER SECTION 551.071 OF THE TEXAS GOVERNMENT CODE.

NOTE: THE CITY OF ROWLETT MEETING ROOMS ARE ACCESSIBLE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND PARKING SPACES ARE AVAILABLE. REQUESTS FOR ACCOMMODATIONS OR INTERPRETIVE SERVICES MUST BE MADE 48 HOURS PRIOR TO THIS MEETING. PLEASE CONTACT THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT FOR FURTHER INFORMATION.



Garrett Langford, Principal Planner

**MINUTES OF THE WORK SESSION AND REGULAR MEETING  
OF THE PLANNING & ZONING COMMISSION  
OF THE CITY OF ROWLETT, TEXAS, HELD IN THE CITY COUNCIL CHAMBERS  
4000 MAIN STREET, AT 6:15 P.M., MAY 24, 2016**

**PRESENT:** Chairman Michael Lucas, Commissioners Chris Kilgore, James Moseley, Lisa Estevez, Alternate Stephen Ritchey

**ABSENT:** Vice Chairman Jonas Tune, Commissioner Thomas Finney, Alternates Kim Clark, Jason Berry

**STAFF PRESENT:** Principal Planner Garrett Langford, Planner I Katy Goodrich, Development Services Coordinator Lola Isom

**WORK SESSION**

**i. Call to Order**

Chairman Michael Lucas called the Work Session to order at 6:17 p.m.

**ii. Discuss upcoming joint meeting with City Council on June 14, 2016.**

Principal Planner Garrett Langford began the work session by discussing the joint meeting with City Council on June 14, 2016. He provided a reminder of the discussion points for the Commissioners.

**iii. Discuss items on the regular agenda.**

There was a brief discussion amongst the Commission in regards to other oversized accessory structures that exist along Toler Road.

**iv. Adjourn**

Chairman Lucas adjourned the Work Session at 6:22 p.m.

**REGULAR MEETING**

**PRESENT:** Chairman Michael Lucas, Commissioners Chris Kilgore, James Moseley, Lisa Estevez, Thomas Finney, Alternate Stephen Ritchey

**ABSENT:** Vice Chairman Jonas Tune, Alternates Kim Clark, Jason Berry

**STAFF PRESENT:** Principal Planner Garrett Langford, Planner I Katy Goodrich, Development Services Coordinator Lola Isom

**MINUTES OF THE WORK SESSION AND REGULAR MEETING  
OF THE PLANNING & ZONING COMMISSION  
OF THE CITY OF ROWLETT, TEXAS, HELD IN THE CITY COUNCIL CHAMBERS  
4000 MAIN STREET, AT 6:15 P.M., MAY 24, 2016**

**A. CALL TO ORDER**

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Chairman Lucas called the meeting to order at 6:30 p.m.

**1. Update Report from Staff.**

Garrett Langford, Principal Planner, provided a reminder that a joint meeting between City Council and the Planning and Zoning Commission would be held on June 14, 2016.

**B. CONSENT AGENDA**

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**1. Minutes of the Planning and Zoning Commission Meeting of May 10, 2016.**

Commissioner Chris Kilgore made a motion to approve the minutes. Alternate Stephen Ritchey seconded the motion. The motion passed with a 6-0 vote.

**C. ITEMS FOR INDIVIDUAL CONSIDERATION**

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**1. Conduct a public hearing and make a recommendation on a request for a Special Use Permit to allow an accessory building that does not meet the requirements in Section 77-303 of the Rowlett Development Code. The subject property is located at 3402 Toler Road further described as being Lot 8, Block 2 of the Chandler Park Addition, City of Rowlett, Dallas County, Texas. (SUP117-2016**

Mr. Langford came forward to present the case. He provided a summary of the request and stated that the accessory building exceeds the size requirement and also includes a request for metal exterior. Mr. Langford presented a Site Plan, a rendering of the structure, a Floor Plan, and site photographs.

He said that public hearing notifications were sent; four were received in favor for the 200' notice and three were received in favor and two in opposition for the 500' courtesy notice. He presented a Public Hearing Notification Map, summarized the staff analysis, and stated that staff recommends approval.

There was discussion amongst the Commission regarding the public hearing notification responses and the fence replacement by the adjacent property owner.

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Chairman Michael Lucas opened the public hearing.

No speakers came forward.

Chairman Michael Lucas closed the public hearing.

There was discussion amongst the Commission regarding the public hearing notification responses and the impact on the neighborhood.

Commissioner Chris Kilgore made a motion to approve the item. Commissioner James Moseley seconded the motion. The motion passed with a 6-0 vote.

- 2. Conduct a public hearing and make a recommendation on a request for a Special Use Permit to allow a restaurant with a drive-through located at 3505 Lakeview Parkway further described as being Lot 5, Block 1 of ASPI No. 1 Addition, City of Rowlett, Dallas County, Texas. (SUP111-2016)**

Due to Items 2 and 3 being a case for the same property, Mr. Langford provided a presentation over both the Special Use Permit, Item 2, and the Alternative Building Material, Item 3.

Mr. Langford presented a location map and summarized both requests. He provided background on the property presented site photographs, existing conditions, the concept plan, the façade plan, and summarized the staff analysis. He stated that staff recommended approval of both requests.

He said that public hearing notifications were sent; one was received in favor for the 200' notice and none were received in favor or opposition for the 500' courtesy notice.

Chairman Michael Lucas opened the public hearing.

No speakers came forward.

Chairman Michael Lucas closed the public hearing.

**MINUTES OF THE WORK SESSION AND REGULAR MEETING  
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OF THE CITY OF ROWLETT, TEXAS, HELD IN THE CITY COUNCIL CHAMBERS  
4000 MAIN STREET, AT 6:15 P.M., MAY 24, 2016**

Commissioner Chris Kilgore made a motion to approve Item C.2. Commissioner Liza Estevez seconded the motion. The motion passed with a 6-0 vote.

- 3. Consider and make a recommendation on a request to allow an alternative building material for McDonald's located at 3505 Lakeview Parkway further described as being Lot 5, Block 1 of ASPI No. 1 Addition, City of Rowlett, Dallas County, Texas. (ABM112-2016).**

Commissioner Chris Kilgore made a motion to approve Item C.3. Commissioner James Moseley seconded the motion. The motion passed with a 6-0 vote.

**D. ADJOURNMENT**

Chairman Lucas adjourned the meeting at 6:52 p.m.

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Chairman

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Secretary



## City of Rowlett

### Staff Report

Planning & Zoning Commission

4000 Main Street  
P.O. Box 99  
Rowlett, TX 75030-0099  
www.rowlett.com

**AGENDA DATE:** 06/14/2016

**AGENDA ITEM:** C1

#### **AGENDA LOCATION:**

**Individual Consideration**

#### **TITLE**

Conduct a public hearing and make a recommendation on a request for a Special Use Permit to allow an accessory building that does not meet the requirements in Section 77-303 of the Rowlett Development Code. The subject property is located at 7714 Princeton Road further described as being a 6.89 +/- acre parcel located in Tract 53.1 of the Hanse Hamilton Survey, Abstract 548, Page 595, City of Rowlett, Dallas County, Texas. (SUP126-2016)

#### **STAFF REPRESENTATIVE**

Katy Goodrich, MPA, Planner I

#### **SUMMARY**

The property owners are requesting a Special Use Permit (SUP) to allow them to build a 1,200 square-foot metal accessory building on their property at 7714 Princeton Road (Attachment 1 – Location Map). An SUP is needed as the accessory building does not meet the material and size requirements in Section 77-303 of the Rowlett Development Code (RDC).

#### **BACKGROUND INFORMATION**

The subject property at 7714 Princeton Road is a 6.8906 acre lot zoned Single Family 8. It has a 2,366 square-foot single-family home and is located in the Hanse Hamilton Abstract, northwest of Dalrock Road. The applicant is proposing to construct an accessory building that he will use to store two flat utility trailers, ATV machines, and a finish mower. There is another accessory building on the property that is 3,200 square feet. A Special Use Permit was approved on April 18, 2000 to allow the construction of this building (ORD 4-18-00C). This accessory building is located next to the site of the proposed 1,200 square feet accessory building and the proposed accessory building will use the same metal materials and coloring (Attachment 2 – Building Plan Set).

The accessory building totals 1,200 square feet in size (Attachment 2 – Building Plan Set). The accessory building is located seven feet from the front property line to the west, 99 feet from the side property line to the north, and 460 feet from the rear property line to the east. The exterior of the accessory building consists of tan metal r-panel (Attachment 2 – Building Plan Set). The structure is 14 and a half feet in height at the middle point and 12 feet in height for the walls and does not exceed the height of the house.

## DISCUSSION

The RDC permits an accessory building that does not meet the size and material requirements with the approval of a Special Use Permit. The approval criteria for an SUP are outlined in Section 77-206 of the RDC. The Planning and Zoning Commission should consider the request based on these approval criteria as detailed below. Staff has added additional commentary in bold italics beneath each point of consideration where applicable.

*Section 77-206.D. Approval Criteria.* Recommendations and decisions on Special Use Permits shall be based on consideration of the following criteria:

1. The proposed Special Use Permit is consistent with the Comprehensive Plan and other infrastructure-related plans, all applicable provisions of this Code, and applicable state and federal regulations;

***The subject property is not located within one of the 13 opportunity areas in the Realize Rowlett 2020 Comprehensive Plan. However, the Guiding Principles in the Plan should be considered in decisions about zoning. The most relevant principle to this zoning request is the principle of “value existing neighborhoods.” Some of the properties within the Hanse Hamilton Abstract, according to Dallas Central Appraisal District, have existing oversized accessory buildings ranging from 864 square feet to 2,950 square feet in size. Site visit confirms that almost all of the oversized accessory buildings have metal exteriors. A request for an oversized metal accessory building in this area is not out of context with the surrounding properties.***

2. The proposed Special Use Permit is consistent with the purpose and intent of the zoning district in which it is located;

***Accessory buildings are allowed in residential zoning districts provided they meet the requirements previously mentioned. The table below shows what is required versus what is being proposed. The accessory building meets the setback and lot coverage requirements, but it will exceed the maximum size of 500 square feet. The lot coverage was calculated by including all existing structures and impervious surfaces with the proposed structure.***

<b><i>Use standard</i></b>	<b><i>Regulation</i></b>	<b><i>Proposed Structure</i></b>
<b><i>Max. size</i></b>	<i>500 square feet</i>	<i>1,200 square feet</i>
<b><i>Max height</i></b>	<i>35 feet</i>	<i>14.5 feet</i>
<b><i>Min. side yard setback</i></b>	<i>3 feet</i>	<i>7 feet</i>
<b><i>Max Lot Coverage</i></b>	<i>45%</i>	<i>.18%</i>
<b><i>Max Rear Yard Coverage</i></b>	<i>35%</i>	<i>2.15%</i>

3. Whether the proposed Special Use Permit meets the challenge of some changing condition, trend, or fact;

***The applicant is requesting a Special Use Permit to construct an accessory structure that does not meet the before mentioned requirements.***

4. Whether the proposed Special Use Permit will protect or enhance the health, safety, morals, or general welfare of the public;

***This is an accessory building that has minimal visibility and low impact to the surrounding areas. The proposal should not negatively affect the health, safety, morals or general welfare of the public.***

5. Whether the municipality and other service providers will be able to provide sufficient transportation and utility facilities and services to the subject property, while maintaining sufficient levels of service to existing development;

***Adequate utilities, access roads and drainage facilities are being provided for the subject property. This SUP will not increase any demands on utilities.***

6. Whether the proposed Special Use Permit is consistent with or will have significant adverse impacts on other property in the vicinity of the subject tract; and

***Oversized metal accessory buildings are common in this larger lot area. The aesthetics of the building will be appealing due to a darker trim around the edges of the building. The accessory building will not be able to be seen from the street if standing in front of the driveway due to it being off to the side of the fork in the driveway and behind an existing home with shrubbery.***

7. The suitability of the subject property for the existing zoning and the proposed use sought by the Special Use Permit;

***The 1,200 square-foot accessory building is slightly more than half the size of the 2,366 square-foot house and is located on an almost 7 acre lot. It is Staff's opinion that the size of the accessory building, in relation to size of the home, the property, and the surrounding area is within suitable proportions and therefore is suitable for the subject property.***

It is staff's opinion that the request for a 1,200 square-foot accessory building is appropriate and recommends approval. Staff believes this request meets the criteria listed above.

### **Public Notice**

On May 27, 2016, a total of 32 notices were mailed to property owners within 200 feet and a total of 63 courtesy notices were mailed to property owners within 500 feet. As of June 8, 2016, eight public notices were received in favor of the request and four were received in opposition. As of June 8, 2016, one courtesy public notice was received in favor of the request and one was received in opposition. The responses are available in Attachment 3 – Returned Public Notices.

Staff published the Legal Notice in the Dallas Morning News on June 2, 2016, and placed a zoning sign on the subject property on June 2, 2016, in accordance with the Rowlett Development Code.

**FISCAL IMPACT/BUDGET IMPLICATIONS**

N/A

**RECOMMENDED ACTION**

Staff recommends approval of the request.

**ATTACHMENTS**

Attachment 1 – Location Map

Attachment 2 – Building Plan Set

Attachment 3 – Returned Public Notices

Attachment 4 – Pictures of the Site

Attachment 5 – Properties with Oversized Accessory Buildings in the Area



Rowlett City Council  
Rowlett, Texas

May 19, 2016

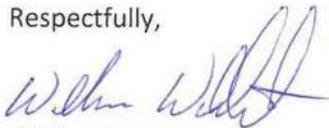
SUBJECT: Request for Minor Special Use Permit

Dear Council,

My name is William Wahlstrom. My wife and family have resided at 7714 Princeton Rd. since 1984. During this time we have established a homestead of approximately 7 acres which includes our house, garage, barn and shop. I have included photos of the shop that was constructed 14 years ago. At this time, I am requesting a Minor Special Use Permit to construct a storage building adjacent to the shop where I will store my two flat utility trailers, ATV machines, and finish mower. This building will match the adjacent shop and be concealed from the line of sight from the road behind an evergreen hedgerow. You can see from the aerial view, plat, and photos where this proposed building will be located.

Thank you for considering this request.

Respectfully,



William Wahlstrom  
Homeowner





STATE OF TEXAS:  
COUNTY OF DALLAS:

BEING all that certain lot, tract or parcel of land situated in Dallas County, Texas, and being a part of the H. HAMILTON SURVEY, ABSOLUTE NO. 548, and being a part of a 125.28 acre tract of land as conveyed by Deed No. 1709, recorded in the Public Records of Dallas County, Texas, and being a part of a 20 acre tract conveyed to E.C. Harper and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the Northeast line of Princeton Road, said point being the South corner of said E.C. Harper 20 acre tract;

THENCE North 43 degrees 44 minutes 25 seconds West, with the Northeast right of way line of Princeton Road, 166.37 feet to a 1/2" iron rod found;

THENCE North 48 degrees 10 minutes 28 seconds West, continuing along the Northeast right of way line of Princeton Road, 43.21 feet to a 3/8" iron rod set for corner;

THENCE North 45 degrees 06 minutes 09 seconds East, leaving said Northeast right of way line of Princeton Road, 260.69 feet to a 1/2" iron rod found at an angle point in this tract;

THENCE North 43 degrees 10 minutes 52 seconds West, 175.11 feet to a 3/8" iron rod set near a fence line;

THENCE North 45 degrees 14 minutes 47 seconds East, with said fence line, 497.13 feet to a 1/2" iron rod found at a fence corner;

THENCE South 44 degrees 31 minutes 19 seconds East, along and near a fence line, 350.92 feet to a 3/8" iron rod set for corner;

1/2" iron rod found in a fence line;

THENCE South 42 degrees 42 minutes 53 seconds West, with said fence line, 149.06 feet to a 3/8" iron rod set at a fence corner;

THENCE South 39 degrees 24 minutes 29 seconds West, with said fence line, 8.49 feet to a 3/8" iron rod set at a fence corner;

THENCE South 43 degrees 27 minutes 03 seconds West, with said fence line, 270.85 feet to a 3/8" iron rod set at a fence corner;

THENCE South 44 degrees 39 minutes 12 seconds West, with said fence line, 208.51 feet to the PLACE OF BEGINNING and containing 237,743 Square Feet or 5.457 Acres of Land.

SAVE AND EXCEPT THE FOLLOWING PARCEL:

BEGINNING N 43 10'52" W 66' FROM THE INNER CORNER FROM ABOVE MENTIONED TRACT.

THENCE S 43 10'52" E 60' ALONG THE SOUTHWEST LINE OF SAID TRACT.

THENCE N 41 09' E 46'

THENCE N 30 56' E 80'

THENCE N 49 50' W 52'

THENCE N 42 34' E 175'

THE ABOVE DESCRIPTION BEING THE CENTER LINE OF A 1/2" IRON ROD FOUND ON THE ABOVE MENTIONED PROPERTY.

NOTE: PER THE NATIONAL FLOOD INSURANCE PROGRAM, COMMUNITY FLOOD NO. 480185 0005B THIS PROPERTY IS IN ZONE C (AREAS OF MINIMAL FLOODING).

DALLAKE ADDITION

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10' IR

54403'19" E 350.92'

S42°42'53"W 149.06' S41°17'35"W 132.9'

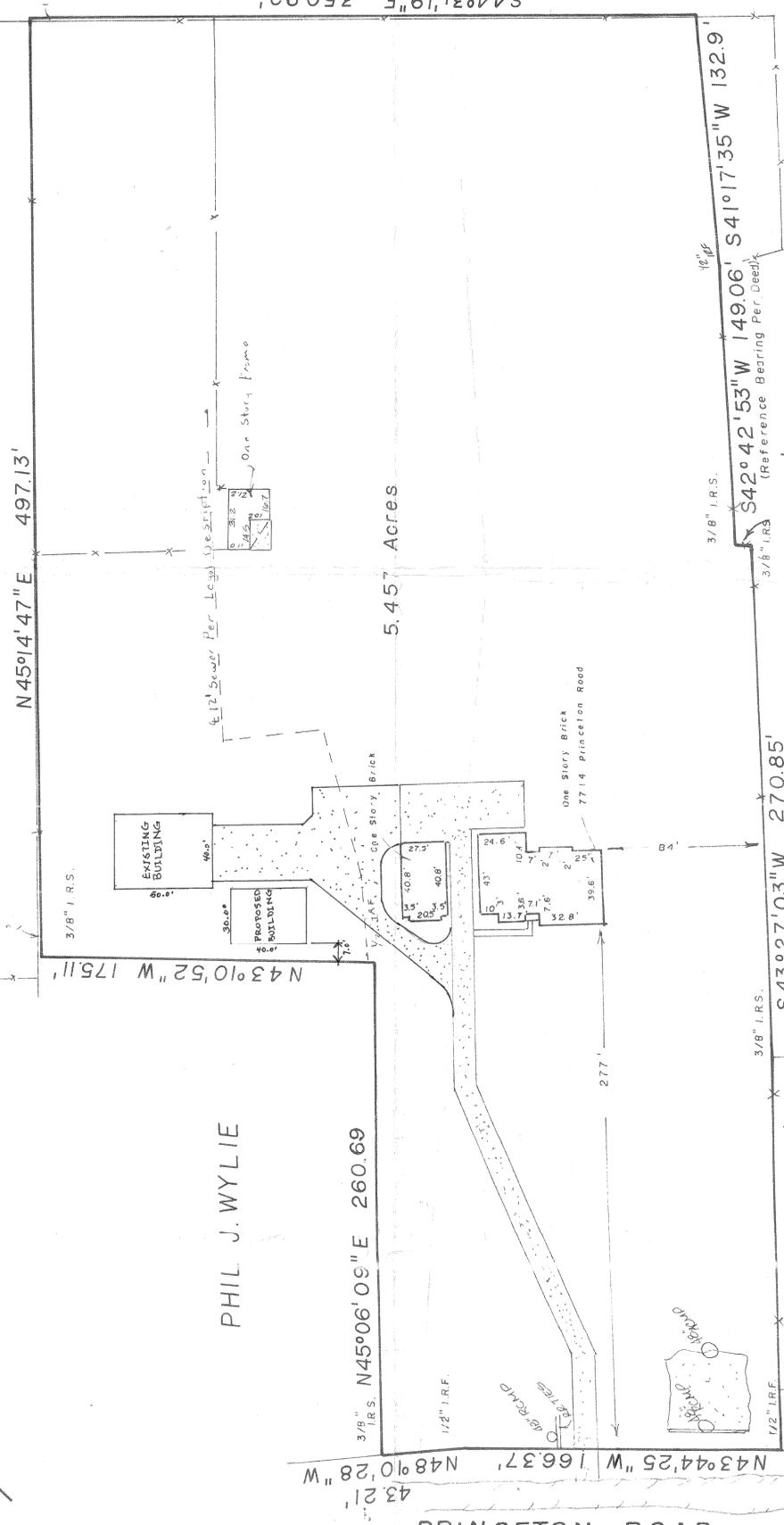
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3/8" I.R.S.

STELLA WELLS

STELLA WELLS



PHIL J. WYLIE

E.C. HARPER

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5.457 Acres

4.0 ACRES

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## Department of Development Services

### COURTESY NOTICE OF PUBLIC HEARING

06-08-16A08:31 RCVD

**TO:** Property Owner

**RE:** Application for a Special Use Permit

**LOCATION:** The subject property is located at 7714 Princeton Road further described as being a 6.89 ± acre parcel located in Tract 53.1 of the Hanse Hamilton Survey, Abstract 548, Page 595, City of Rowlett, Dallas County, Texas. A map is attached for reference.

**EXPLANATION OF REQUEST:** The applicant is proposing a 1,200 square-foot metal accessory building located at 7714 Princeton Road. A Special Use Permit is needed as the applicant's proposal does not meet size and material requirements in Section 77-303 of Rowlett Development Code. (SUP126-2016)

- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:** This is a residential zone; and with a building like this one, we will start becoming a commercial zone

**PROPERTY OWNER NAME**

(print):

Paola Gomez

**SIGNATURE:**

Paola Gomez

**ADDRESS:**

7701 Gilman Dr. Rowlett, TX - 75089

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the **14<sup>th</sup> of June, 2016**, and that the City Council will hold a public hearing at 7:30 p.m. on the **5<sup>th</sup> of July, 2016**. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Development Service Department by 5 pm on Wednesday, June 8, 2016, for your comments to be included in the Planning and Zoning Commission packet and/or by Wednesday, June 29, 2016, to be included in the City Council packet. All responses received by Wednesday, June 29, 2016, will be forwarded to the Council as well; it is not necessary to respond twice. Responses received after the times noted above shall not be counted in the record of response.

If you have any questions concerning this request, please contact the Department of Development

Services

Phone 972-463-3906

FAX 972-412-6228

kgoodrich@rowlett.com

**RETURN BY FAX OR MAIL**

City of Rowlett

Development Services

PO Box 99

Rowlett, TX 75030-0099



Department of Development Services

COURTESY NOTICE OF PUBLIC HEARING

TO: Property Owner
RE: Application for a Special Use Permit
LOCATION: The subject property is located at 7714 Princeton Road further described as being a 6.89 +/- acre parcel located in Tract 53.1 of the Hanse Hamilton Survey, Abstract 548, Page 595, City of Rowlett, Dallas County, Texas. A map is attached for reference.
EXPLANATION OF REQUEST: The applicant is proposing a 1,200 square-foot metal accessory building located at 7714 Princeton Road. A Special Use Permit is needed as the applicant's proposal does not meet size and material requirements in Section 77-303 of Rowlett Development Code. (SUP126-2016)

- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: As long as it's not for commercial use.

PROPERTY OWNER NAME

(print):

Dewight E & Darlene E Smith

SIGNATURE:

Darlene E. Smith

ADDRESS:

7806 Creek View Dr. Rowlett, TX 75089

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14th of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5th of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

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If you have any questions concerning this request, please contact the Department of Development Services

Phone 972-463-3906
FAX 972-412-6228
kgoodrich@rowlett.com

RETURN BY FAX OR MAIL

City of Rowlett
Development Services
PO Box 99
Rowlett, TX 75030-0099



Department of Development Services

NOTICE OF PUBLIC HEARING

06-08-16A08:31 RCVD

TO: Property Owner
RE: Application for a Special Use Permit
LOCATION: The subject property is located at 7714 Princeton Road further described as being a 6.89 +/- acre parcel located in Tract 53.1 of the Hanse Hamilton Survey, Abstract 548, Page 595, City of Rowlett, Dallas County, Texas.
EXPLANATION OF REQUEST: The applicant is proposing a 1,200 square-foot metal accessory building located at 7714 Princeton Road.

- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: I don't know where exactly he intends to build. This structure could block my country view in the backyard. The view was one of the reasons I bought my house.

PROPERTY OWNER NAME (print): Brian Hodgkinson
SIGNATURE: Brian Hodgkinson
ADDRESS: 7618 Creekwood Dr. Rowlett, TX 75089

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I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

PROPERTY OWNER NAME

(print):

Kathy Vanciel / Kathy Vanciel

SIGNATURE:

7613 Gillon Rowlett, TX 75089

ADDRESS:

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I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: We want to keep the Coentry feel of the area without extra noise + eye sores. Thanks -

PROPERTY OWNER NAME (print): Rusty Pierce
SIGNATURE: [Signature]
ADDRESS: 7700 Cresswood Dr. Rowlett Tx. 75089

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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: Would like to keep it as it currently is
My property is behind at would like to keep it feeling country
PROPERTY OWNER NAME Don't know about the noise or what that's used for.

(print): Jody Wilboen
SIGNATURE: Jody Wilboen
ADDRESS: 7702 Creek Wood Dr. Rowlett, TX 75089

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I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: THIS shed would be used to house equipment. This would cause no problems

PROPERTY OWNER NAME (print): LONNIE Mc SWAIN
SIGNATURE: Lonnie Mc Swain
ADDRESS: 7726 PRINCETON RD - 75089

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Checked box for 'I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:'

I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

PROPERTY OWNER NAME

(print):

Billy Coonrod + Tina Coonrod

SIGNATURE:

Tina Coonrod

ADDRESS:

8213 Dalrock Rd

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COMMENTS:

PROPERTY OWNER NAME

(print):

THOMAS B. WRIGHT

SIGNATURE:

Thom B. W. right

ADDRESS:

8221 DALZACK, 75089

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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: THE OWNER OF THIS PROPERTY WILL BUILD WITH PROPER MATERIALS AND WILL MAINTAIN IT VERY WELL (AS PROVEN WITH EXISTING STRUCTURES)

PROPERTY OWNER NAME: BONNIE RUTH ANDREWS
(print): Bonnie Ruth Andrews
SIGNATURE:
ADDRESS: 7710 Princeton Road, Rowlett, Texas 75089

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I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

PROPERTY OWNER NAME

(print):

John Woodruff

SIGNATURE:

[Handwritten Signature]

ADDRESS:

7614 Creek Wood Dr. Rowlett, TX 75089

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**COMMENTS:**

*Spoke to Dept. of Development and found the use and location of bldg. Doesn't affect me.*

**PROPERTY OWNER NAME**

(print):

*Lori & Zane Miller*

**SIGNATURE:**

*Lori Miller*

**ADDRESS:**

*7606 Creekwood Dr - 75089*

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I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: owner should have the ability to make improvements to their property and everything done so far looks good

PROPERTY OWNER NAME (print):

Greg Parris

SIGNATURE:

[Handwritten Signature]

ADDRESS:

7718 Princeton Rd

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COMMENTS:

PROPERTY OWNER NAME

(print):

Reed Buley

SIGNATURE:

[Handwritten signature]

ADDRESS:

7602 Creek Wood

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14th of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5th of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Development Service Department by 5 pm on Wednesday, June 8, 2016, for your comments to be included in the Planning and Zoning Commission packet and/or by Wednesday, June 29, 2016, to be included in the City Council packet. All responses received by Wednesday, June 29, 2016, will be forwarded to the Council as well; it is not necessary to respond twice. Responses received after the times noted above shall not be counted in the record of response.

Any owner of property subject to a proposed rezoning or affected by a proposed rezoning may protest the rezoning by filing a written protest (this form is sufficient) with the Director of Development Services within the time specified above. The protest shall object to the zoning map amendment, contain a legal description of the property on behalf of which the protest is made, and be signed by the owner of the property. If protests in the form of opposition are received from property owners within 200 feet of the subject property, and the property owners own a combined minimum of 20 percent or more of the land area, approval by the city council shall only occur with a concurring vote of at least three-fourths of the full membership of the city council.

If you have any questions concerning this request, please contact the Department of Development Services
Phone 972-463-3906
FAX 972-412-6228
kgoodrich@rowlett.com

RETURN BY FAX OR MAIL
City of Rowlett
Development Services
PO Box 99
Rowlett, TX 75030-0099

# 7714 Princeton Road SUP

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# 7714 Princeton Road SUP

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# 7714 Princeton Road SUP

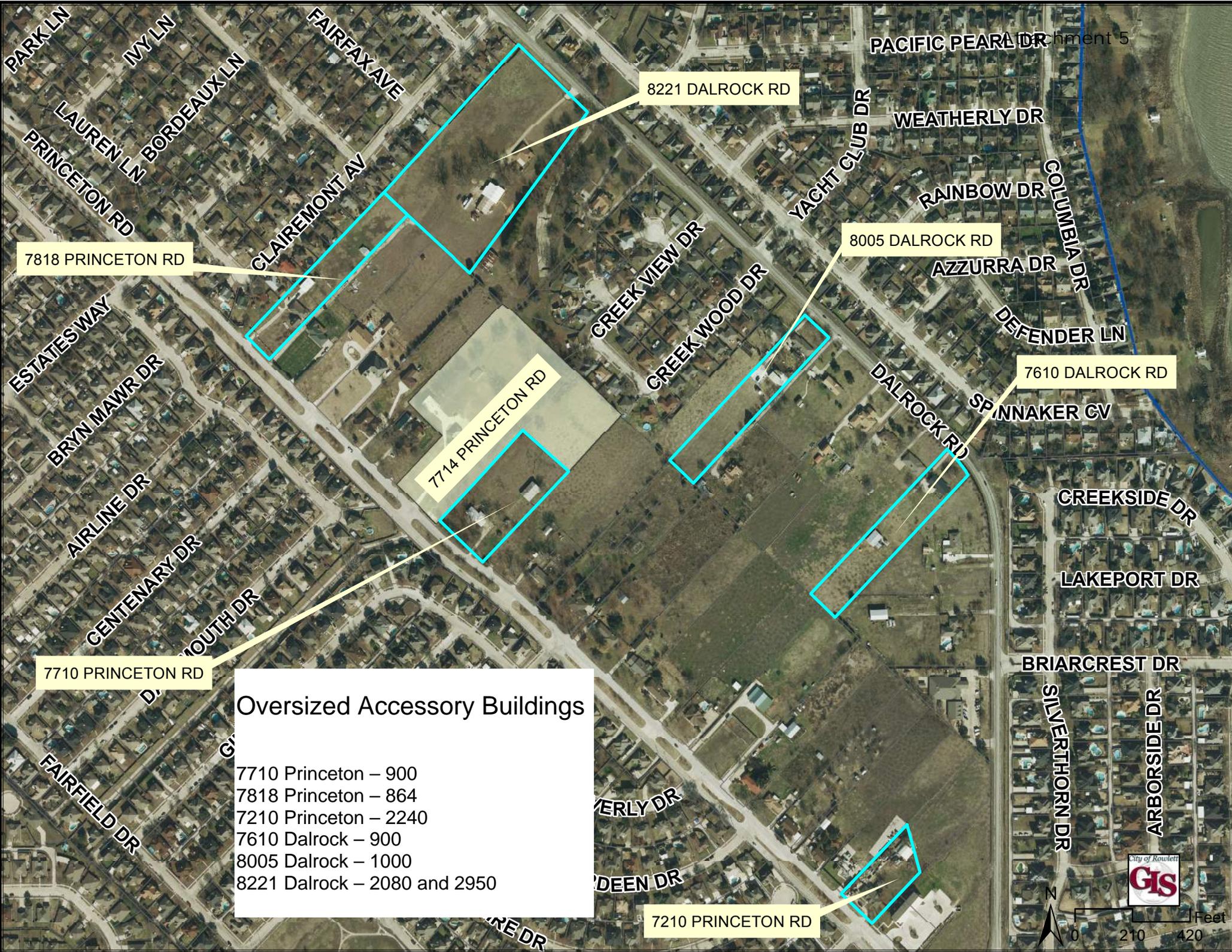
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# 7714 Princeton Road SUP

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**Oversized Accessory Buildings**

- 7710 Princeton – 900
- 7818 Princeton – 864
- 7210 Princeton – 2240
- 7610 Dalrock – 900
- 8005 Dalrock – 1000
- 8221 Dalrock – 2080 and 2950

7818 PRINCETON RD

8221 DALROCK RD

8005 DALROCK RD

7610 DALROCK RD

7710 PRINCETON RD

7714 PRINCETON RD

7210 PRINCETON RD





# City of Rowlett

4000 Main Street  
P.O. Box 99  
Rowlett, TX 75030-0099  
www.rowlett.com

## Staff Report

Planning & Zoning Commission

**AGENDA DATE:** 06/14/2016

**AGENDA ITEM:** C2

**AGENDA LOCATION:**

**Individual Consideration**

**TITLE**

Conduct a public hearing and make a recommendation to City Council on a request for a rezoning from General Commercial/Retail (C-2) Zoning District to a Planned Development District with an underlying C-2 base zoning district to allow an assisted living/memory care facility. The subject property is located at 4906 Miller Road further described as being 3.639 +/- acres in the Oliver V Ledbetter Survey, Abstract No. 790, City of Rowlett, Dallas County, Texas.

**STAFF REPRESENTATIVE**

Garrett Langford, AICP, Principal Planner

**SUMMARY**

The applicant is requesting to rezone 3.69 +/- acres along Chiesa Road (Attachment 1 – Location Map) from C-2 Zoning District to a Planned Development (PD) District with an underlying zoning of C-2 to allow an assisted living/memory care facility that will serve up to 50 residences (Attachment 2 – Statement of Intent and Purpose).

**BACKGROUND INFORMATION**

The subject property is located along the south side of Miller Road 295 +/- feet east of President George Bush Tollway (PGBT). The subject property is bounded by existing single family subdivisions to the south and east, which are currently zoned Single Family 10 and Single Family 9. To the west, is a 3.7 acre tract of land that is currently zoned C-2. To the north, are existing single family homes that are currently zoned C-2. Listed below is the history of City-initiated zoning changes for the subject property.

ZONING HISTORY	
1959	Zoned R-1
1988	Zoned SF-8/15 (R-3)
1997	Single Family Water Front (SF-W) and Single Family Village 2 (SF-V2)
2006	Single Family 10 (SF-10) and Single Family 8 (SF-8)

In addition to requesting to allow an assisted living facility, the applicant as part of the PD is requesting modified development standards (Attachment 3 – Development Standards). The modified standards compared to the RDC standards are listed in the table below. If approved, the

proposed development will follow the standard requirements in the RDC except for those requirements specified in the Development Standards and the Concept Plan. The applicant's Concept Plan proposes an assisted living/memory care facility that includes two buildings that will serve a maximum of 50 residences total (Attachment 4 – Concept Plan).

<b>Table 1: Proposed Deviations from RDC Standards</b>		
<b>Regulation</b>	<b>Under Current Code</b>	<b>Proposed PD</b>
<b>Uses</b>	<ul style="list-style-type: none"> <li>• C-2 uses</li> </ul>	<ul style="list-style-type: none"> <li>• C-2 uses</li> <li>• Assisted Living / Memory Care</li> </ul>
<b>Setbacks</b>	<ul style="list-style-type: none"> <li>• Front setback 50 feet</li> <li>• Side yard setback adjacent to residential 50 feet</li> <li>• Rear yard setback 30 feet</li> </ul>	<ul style="list-style-type: none"> <li>• Front setback 50 feet</li> <li>• Side yard setback adjacent to residential 50 feet</li> <li>• Rear yard setback 50 feet</li> </ul>
<b>Parking</b>	<ul style="list-style-type: none"> <li>• 1 space for every 2 rooms or beds, whichever is greater plus 1 per 100 sq. ft. of assembly area.</li> </ul>	<ul style="list-style-type: none"> <li>• 1.5 spaces for every two beds or bedrooms, whichever is greater</li> </ul>
<b>Building Materials</b>	<ul style="list-style-type: none"> <li>• 100 percent masonry (stone, brick, split-face CMU or stucco)</li> </ul>	<ul style="list-style-type: none"> <li>• 100% masonry on the façade facing Miller and PGBT</li> <li>• 50% brick or stone and 50% cementitious board on side and rear elevations</li> </ul>
<b>Landscaping</b>		
<i>Compatibility Buffer</i>	<ul style="list-style-type: none"> <li>• 1 tree per 50 lineal feet</li> <li>• 10 shrubs per 30 lineal feet</li> </ul>	<ul style="list-style-type: none"> <li>• 1 canopy tree per 30 lineal feet</li> </ul>
<i>Incompatibility Buffer</i>	<ul style="list-style-type: none"> <li>• 15-ft wide buffer</li> <li>• 1 tree per 35 lineal feet</li> <li>• 10 shrubs per 30 lineal feet</li> </ul>	<ul style="list-style-type: none"> <li>• 30-ft wide buffer</li> <li>• 1 canopy tree per 25 lineal feet</li> </ul>
<i>Screening</i>	<ul style="list-style-type: none"> <li>• 6-ft tall masonry screening wall</li> <li>• Slip-form walls are prohibited</li> </ul>	<ul style="list-style-type: none"> <li>• 6-ft masonry wall (pre-cast) with hand laid masonry columns every 40 feet</li> </ul>
<i>Detention</i>	<ul style="list-style-type: none"> <li>• Open detention is not allowed in the front yard</li> </ul>	<ul style="list-style-type: none"> <li>• Allow open detention in the front yard with the following landscaping:</li> <li>• One canopy tree per 40 linear feet around perimeter</li> <li>• Landscaping around the perimeter of the detention pond equal to 10% of the detention pond surface area within the front yard that consists of decorative grasses and groundcovers</li> </ul>

Further explanations of the more notable deviations are outlined below:

- **Parking** is significantly reduced from RDC standards. This is due to the fact that residences of the facility will not have their own cars. The applicant has indicated that at capacity during peak hours there will be at least 15 employees. Based on the amount

parking provided, this will leave 22 spaces for guest and family members. (Attachment 5 – Parking Standards)

- **Masonry** standards are reduced to allow up to 50 percent cementitious board product on the side and rear elevations except for the side facing PGBT. The reasoning for this is primarily aesthetics. Many of these fiber-cement boards, such as hardie board, carry 30 to 50 year warranties. These are durable products and do not require the same maintenance as wood. (Attachment 6 – Concept Elevations)
- **Open detention** will be allowed in the front yard in order to capture water runoff as the site drains toward Miller Road. The need and size of detention will not be finalized until the review of the civil plans has been completed later in the development review process. When needed, the RDC does not allow detention in the front yard. The applicant is proposing that if the detention is located in the front yard, then additional landscaping as noted in the table above will be provided.
- **Screening wall** standards are being modified to allow a different construction method for the required masonry screening wall along the east and south property line adjacent to single family residences. The applicant is proposing to use a precast screening wall system instead of a hand laid masonry wall. In a precast system, the wall panels are formed offsite and delivered to the job site where they slid into place between the columns. Like hand laid masonry walls, precast walls will need to be designed by a structural engineer to ensure the piers for the wall are deep enough to avoid movement from soil contractions and expansions.

## DISCUSSION

Section 77-805 of the *Rowlett Development Code (RDC)* states that the Planning and Zoning Commission shall consider the following when making their recommendation to the City Council as it pertains to rezoning requests. These criteria are listed below:

1. Whether the proposed rezoning corrects an error or meets the challenge of some changing condition, trend, or fact;

***While there is no error in the zoning, there is a trend of aging that has been documented in the Realize Rowlett 2020 Comprehensive Plan. It is projected in the Comprehensive Plan that 20.3 percent of the Rowlett population will be over 55 in 2015. It has also been noted through the comprehensive planning process that there is not sufficient housing stock appropriate for seniors. This rezoning will address this trend by providing housing options for seniors, particularly those that need additional care.***

2. Whether the proposed rezoning is consistent with the comprehensive plan and the purposes of this code stated in subchapter 77-103, Purpose of this Code;

***This site is in area E-3 Regional Trade area as described one of the 13 opportunity areas identified in the City's Comprehensive Plan, Realize Rowlett 2020 (Attachment 5). When the plan was initially adopted in 2011, it was understood that the City would***

**take an active role in rezoning several of the priority opportunity areas. This was accomplished through the adoption of the Form Based Code (FBC) and subsequent rezoning of Downtown, Signature Gateway, Healthy Living, Woodside Living and The North Shore. It was determined that the remaining eight opportunity areas, including Regional Trade, would be addressed as development opportunities arose.**

**The main way that the City Council has chosen to implement the vision and guiding principles outlined in the comprehensive plan has been through the adoption of the Form Based Code (FBC) and subsequent rezonings to Form Based Districts. This has been deemed the best way to implement the development regulations necessary to ensure efficient development patterns and high quality design elements in these key areas. This process involves master planning a sufficiently sized area to determine the proper location for connection points, open spaces, utilization of natural features, block structures and transitions with existing uses. This master planning process has been used in the adoptions of previous FBC districts such as the North Shore, Woodside Living, Signature Gateway, Healthy Living, and Downtown.**

**The subject property is 3.639 acre in size, and when combined with the adjacent 3.707 acre tract, there is only 7.346 acres of undeveloped contiguous land in E-3, which is far less than the 20 acre minimum needed for Form Based zoning district. The 20 acre minimum for a Form Based zoning district is sought in order to master plan a sufficiently sized area to determine the proper location for connection points, open spaces, utilization of natural features, block structures and transitions with existing uses. In this situation, there is simply not enough land to create a feasible form based development. Therefore, the subject property and adjacent property to the west is not suited for a form based code development. As a result, the staff does not advocate for a form based zoning district at this location.**

**While staff believes the subject property is not suited for a Form Based zoning district, the proposed rezoning will need to follow the guiding principles in Realize Rowlett 2020. This development proposal meets the intent of Guiding Principal 3 which is to “Make Rowlett a community that is attractive to people at all stages of their lives” which includes those aging and those in need of living assistance.**

3. Whether the proposed rezoning will protect or enhance the health, safety, morals, or general welfare of the public;

**Staff does not anticipate the proposed rezoning to impact negatively the health, safety, morals, or general welfare of the public. If approved, the proposed development will be required to comply with all applicable development standards in the proposed PD as well those standards in the RDC including drainage, traffic, and utility requirements.**

4. Whether the municipality and other service providers will be able to provide sufficient transportation and utility facilities and services to the subject property, while maintaining sufficient levels of service to existing development;

***The proposed rezoning has been reviewed from the standpoint of providing sufficient transportation access and utilities (e.g., water, sanitary sewer, stormwater drainage). Staff has confirmed that both water and sanitary sewer service are available to the subject property.***

5. Whether the proposed rezoning is likely to have significant adverse impacts on the natural environment, including air, water, noise, stormwater management, wildlife, and vegetation;

***It is highly unlikely that the proposed rezoning will have significant adverse impacts on the natural environment. However, whenever a greenfield site is developed some impacts on the natural environment can be expected. These will be mitigated to the extent practical by the regulations on storm water retention/detention, and landscaping ordinances.***

6. Whether the proposed rezoning will have significant adverse impacts on other property in the vicinity of the subject tract;

***An assisted living is considered a low impact use as it relates to traffic and noise. The traffic generation from this use is lower than retail, restaurant, personal service and office uses that would be permitted by right. In regards to noise, there is little noise generated from an assisted living facility as all activity takes place inside. There may be some that are concerned that the proposed use may have more occurrences of emergency vehicle sirens. However, emergency vehicle sirens are used only when necessary. The development would need to follow the City noise ordinance.***

7. The suitability of the subject property for the existing zoning classification and proposed zoning classification;

***The current C-2 zoning allows a number of retail, personal service and office uses by right. Allowing an assisted living or memory care facility will provide an appropriate low intensity use adjacent to existing single family homes to the east and to the south. The proposed development would provide a buffer from a more intense commercial use near the Miller Road and PGBT intersection.***

8. Whether there is determined to be an excessive proliferation of the use or similar uses;

***As it was noted previously, there is a deficit of senior housing in Rowlett. Senior housing needs can be viewed on a spectrum from the least to the most care intensive. It is important to note these housing choices serve seniors of different abilities and***

***that all are need to provide a full spectrum of care for the aging population. There are not enough housing options for these older adults as they continue to age and cannot live independently. Allowing the proposed use would not be excessive proliferation of the use.***

9. Whether the proposed rezoning will ensure that future uses on the subject tract will be compatible in scale with uses on other properties in the vicinity of the subject tract; and;

***The proposed single story development is compatible with surrounding uses and is in scale with other properties in the area. Additionally, the proposed development will also provide a buffer from possibly more intense land uses that are allow by right in C-2 zoning on the property to the west.***

10. The supply of land in the economically relevant area that is in the use district to be applied by the rezoning or in similar use districts, in relation to the demand for that land.

***Rowlett is nearly built-out and there is limited land available to meet the demand for senior housing. Additionally, there is a limited amount of land where assisted living is allowed by right.***

In conclusion, staff finds the proposed is use appropriate at this location and is not expected to have an adverse impact on the adjacent residential properties to the east or to the south. The proposed modified standards on screening, landscaping and building material are appropriate for the proposed development. The proposed use addresses an identified need for additional housing options for senior particularly those in need of additional care. It is staff's opinion that the proposal satisfies the relevant Guiding Principles from the Realize Rowlett 2020 Comprehensive Plan and meets the criteria listed in the RDC for a rezoning.

## **PUBLIC NOTICE**

Notice of this public hearing was mailed, posted, and published in accordance with State Law and the Rowlett Development Code. On May 27, 2016, a total of 82 notices were mailed to property owners within 200 feet and a total of 120 courtesy notices were mailed to property owners within 500 feet. As of June 10, 2016, eight public notices were received in favor of the request and eighteen were received in opposition. The return notices are primarily concerned with the proposed modified standards for the screening wall and building materials and approving these modifications would lessen the quality of the development. The majority responses indicated they are in favor of the request as long the modifications to the screening wall and building materials are not approved. The responses are available in Attachment 8 – Returned Public Notices.

Staff published the Legal Notice in the Dallas Morning News on June 2, 2016, and placed a zoning sign on the subject property on June 3, 2016, in accordance with the Rowlett Development Code.

## **FISCAL IMPACT/BUDGET IMPLICATIONS**

N/A

## **RECOMMENDED ACTION**

Staff recommends approval.

## **ATTACHMENTS**

Attachment 1 – Location Map

Attachment 2 – Statement of Intent and Purpose

Attachment 3 – Development Standards

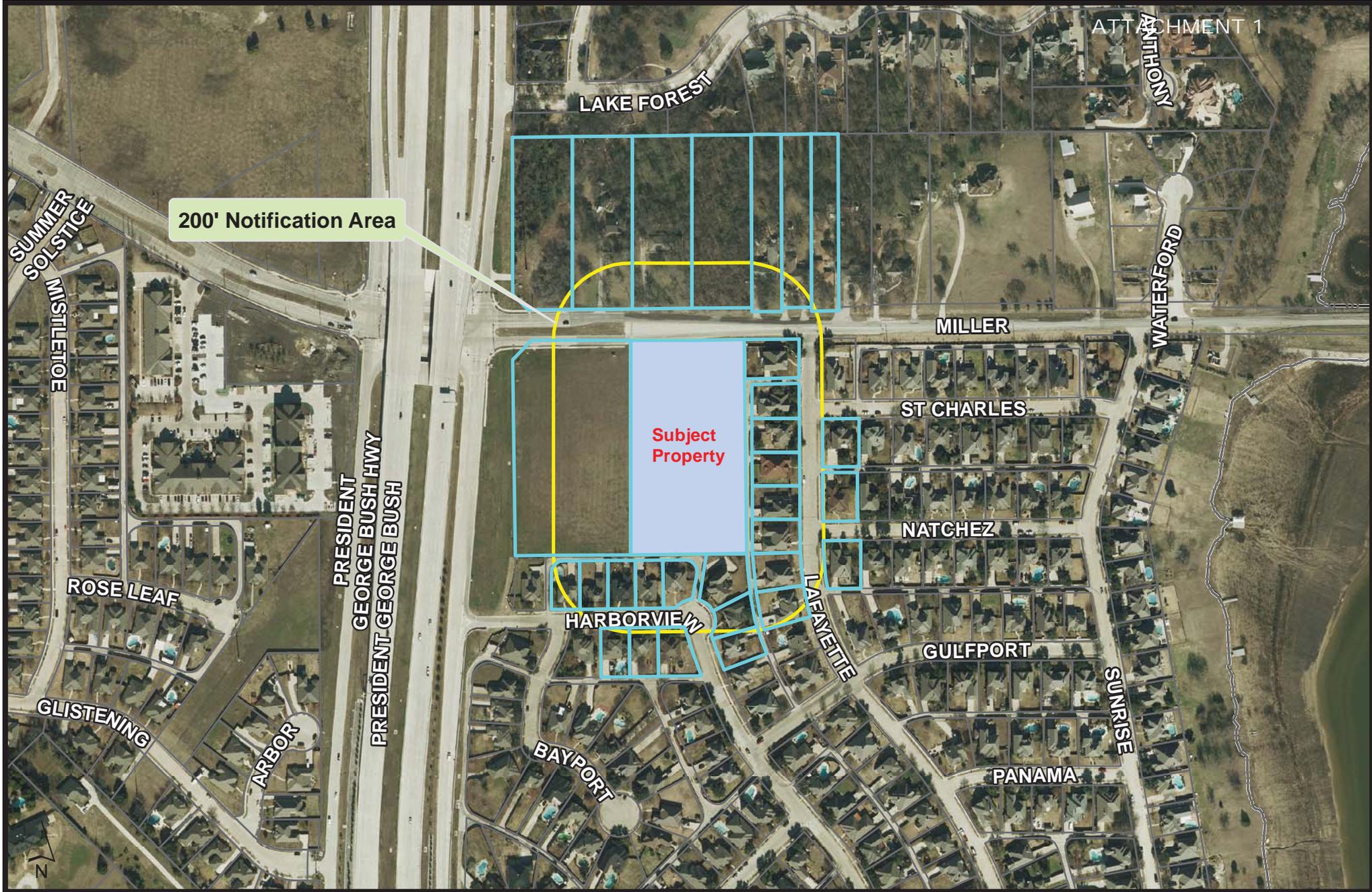
Attachment 4 – Concept Plan

Attachment 5 – Parking Standards

Attachment 6 – Concept Elevations

Attachment 7 – E-3 Regional Trade

Attachment 8 – Public Responses



200' Notification Area

Subject Property



4906 MILLER RD  
PLANNED DEVELOPMENT  
Map Created: May 26, 2016

200 FT NOTICE LOCATION MAP

**Exhibit “C” – Statement of Intent and Purpose**

The intent of the proposed zoning change is to accommodate the development, construction and operation of an Assisted Living and/or Memory Care development for senior citizens. The existing zoning of the site is C2. The site is currently not developed. The proposed zoning change would designate the land as Planned Development.

The proposed zoning change would allow the development and construction of up to 50 beds of assisted living and/or memory care. The base zoning of the PD will be C2, and the uses allowed under the C2 zoning category shall remain.

Description of Project Use:

We are more than just assisted living. We provide enriched living to all of our residents. Our philosophy and care-model is based on serving individuals and families looking for intimate and compassionate memory care. With our home-like environment, compassion-care model, and use of adaptive technologies, we are focused on the wellbeing of our residents mind and spirit.

In addition to Assistance with Daily Living, we will provide:

- A home-like environment designed to resemble a high-end, single-family home with a great-room inclusive of an open concept kitchen, living room and dining area, a salon, covered porch, yard and garden.
- Private bedrooms and bathrooms with high-end finishes that include wood-like flooring, granite counters, tile showers, and designer color palettes selected for their calming properties.
- An environment where residents feel at home and are encouraged to interact socially with other residents and caregivers, who will be on site 24 hours a day.
- Registered Nurse and Caregivers specialized in industry leading care-models for those suffering from Alzheimer’s and many other forms of dementia and memory impairment.
- Nutritious and well balanced chef prepared meals, and snacks throughout the day as needed.
- Regularly scheduled activities tailored to our residents needs, including State-of-the-Art multi-sensory therapy to help stimulate and raise alertness levels.
- Controlled and monitored access.
- Regular housekeeping and laundry services.
- Medication assistance.

With regards to approval criteria in Section 77-805.C:

1. As the “baby boomer” segment of the US population continues to age at the rate of 4.4 million per year, there is a tremendous need for various senior oriented living concepts. Demographic data determines there is currently a shortfall in the Rowlett area of more than 75 private-pay assisted living memory care specific beds. As the baby boomer population continues to age this shortfall will only grow. As a result, there are currently senior citizens in Rowlett who must make lifestyle changes and are forced to leave the city as a result of lacking supply in this housing sector. Additionally, there are Rowlett families that would prefer to move their loved one into the city for proximity purposes but cannot do so with the lack of supply. The proposed development will address the challenge of this underserved market.
2. The proposed project overall is compatible with the City’s comprehensive plan. While the subject site is within the E-3 “Regional Trade” area as described in the “Realize Rowlett 2020” plan, it is a 3.639 acre parcel, and when combined with the adjacent 3.707 acre parcel, there is only 7.346 acres of undeveloped contiguous land in this specific section of E-3, which is far less than the 20 acre minimum needed for Form Based Zoning. Further, this parcel is directly adjacent to existing single family residential. Accordingly, we feel that the proposed development will be a good buffer between the existing single family residential and any future development that may occur on the property to the west.

The following paragraph is taken from the “Market” description under the “Framework for the Future” section of the “Realize Rowlett 2020” plan.

While the larger Trade Area maintains a solid base of middle and upper-middle class demographics which encompasses a broad diversity of psychographic / lifestyle groups, Rowlett’s demographics reflect an affluent (\$82,415 median household income in the City compared to \$64,157 in the Trade Area) and highly-educated (35% with a college degree in the City, 33% in the Trade Area) population. **Both City and Trade Area residents prefer to “age in place”, as evidenced by projected growth in the 55+ age group. This results in a relatively stable community environment, with residents preferring to move within the community as lifestyle forces dictate.** This stability is further reinforced by a higher than average share of family-oriented households and high homeownership figures, indicating an increased level of “investment” in the community.

As stated above in No. 1, there are currently senior citizens in Rowlett who must make lifestyle changes and are forced to leave the city as a result of lacking supply in this housing sector. Additionally, there are Rowlett families that would prefer to move their loved one into the city for proximity purposes but cannot do so with the lack of supply. The proposed development will address the challenge of this underserved market.

3. The proposed rezoning will undoubtedly enhance the health, safety and general welfare of the public by providing crucial housing services to an underserved segment of the City of Rowlett population.
4. Current feedback and information indicates that the city and other service providers will be able to provide sufficient transportation and utility facilities and services to the development while maintaining sufficient levels of service to the existing community.
5. This proposed rezoning is not likely to have significant adverse impacts on the natural environment. Any impact on the natural environment will be positive through the eventual landscaping that will result from the proposed development on what is now undeveloped land with little to no foliage.
6. The proposed rezoning will not have significant adverse impacts on other property in the vicinity. Existing nearby residential property values will remain unchanged.
7. The subject property is suitable to the existing zoning classification of C2. Furthermore, an assisted living and/or memory care development is equally suitable given its low impact on the surrounding development with relation to traffic, utilities, noise, etc.
8. There being no other assisted living and/or memory care facility within the vicinity of the subject property, and according to demographic data, there does not appear to be an excessive proliferation of the proposed use or similar uses.
9. Because we are adding a low impact use to a higher impact zoning classification, we feel that the future uses on the subject property will be compatible in scale with other uses on other properties in the vicinity. Further, we feel that the proposed development will be a good buffer between the existing single family neighborhood adjacent to the property and any future development to occur on the property to the west of the subject property.
10. As per the City of Rowlett Planning and Zoning Department there is currently minimal tracts of land within the City with the proper zoning for the proposed development, none of which are in the economically relevant area of the subject property. As such, the planned development of the subject property is required before any such project can continue in the economically relevant area.

**Exhibit “D” – Planned Development Standards**

This planned development district shall follow all standards of the C2 Zoning District and the Rowlett Development Code unless specifically listed otherwise below. Exhibits “D”, “E” and “F” only apply to assisted living and/or memory care.

Additional Uses Permitted:

- Besides the permitted uses allowed in the C2 zoning district, the only additional permitted use shall be assisted living and/or memory care.
- Accessory structures for an assisted living and/or memory care use shall be permitted provided they comply with the same architectural standards as the primary building and do not encroach into any required landscape buffers.

Dimensional Standards for assisted living and/or memory care:

- Front Setback – 50 foot minimum (detention shall be allowed in the front yard and front yard setback).
- Side Setback – East: 50 foot minimum / West: 0 foot minimum (6 foot compatibility buffer applies).
- Rear Setback – 50 foot minimum.
- Building Height – 1 story, maximum 40’ measured to the ridge.
- Lot Coverage – No maximum.
- Impervious Surface Area – No maximum.
- Pervious Surface Area – No minimum.
- Density – Maximum of 50 beds (single and double occupancy bedrooms shall be allowed).
- Total combined building square footage shall not exceed 25,000.
- The buildings shall be oriented as per Exhibit “E”.

NOTE: The attached Exhibit “E” assumes the buildings accommodate up to 25 residents each. The building footprint is allowed minor modifications to be approved by staff after zoning approval so long as the maximum square footage above is not exceeded and all above setbacks and buffers are adhered to.

Landscaping Standards for assisted living and/or memory care:

Landscaping for assisted living and/or memory care shall follow the Rowlett Development Code unless otherwise stated below:

- A 20 foot Right-of-Way buffer shall be along Miller Road and shall include:
  - No fence required.
  - One canopy tree per 35 lineal feet.
  - Ten evergreen shrubs per 30 lineal feet of property with a minimum height of 24 inches at time of installation and shall obtain a minimum height of 36 inches within two years of planting.
- A 30 foot incompatibility buffer shall be on the east property line and shall include:
  - A 6 foot tall masonry wall per the Rowlett Development Code or a 6 foot tall precast concrete fence with brick pattern installed anywhere within the incompatibility buffer in a straight line following the same general configuration of the property boundaries. Where adjacent to existing wood fences the masonry wall or precast concrete fence can deviate from following the general configuration of the property boundaries to maintain a distance of no less than 20 feet from the existing wood fence. 26” X 26” brick columns and/or pilasters constructed of the same brick that is on the building elevations shall be installed a minimum of 40’ on center (no other column and/or pilaster requirements apply). Precast concrete fencing piers shall be designed based on site soil conditions, which shall be determined by an analysis of no less than three geotechnical borings. The design shall be signed and sealed by a professional structural engineer licensed to practice in the State of Texas. Public visibility requirements do not apply.

- One canopy tree per 25 lineal feet. Canopy trees shall be a minimum of 20 feet away from existing wood fencing. For purposes of this section, the following trees, if they meet the standard requirements for Ornamental Trees as defined in the Rowlett Development Code, shall count one-for-one as a canopy tree and do not require clustering: Little Gem Magnolia, Eastern Red Cedar, Blue Point and Wichita Blue Junipers.
- Ten evergreen shrubs per 30 lineal feet of building with a minimum height of 24 inches at time of installation and shall obtain a minimum height of 36 inches within two years of planting. The plantings required under this section shall be planted in the incompatibility buffer between the property line and the building. Evergreen shrubs along the entire property line are not be required.
- A 30 foot incompatibility buffer shall be on the south property line and shall include:
  - A 6 foot masonry wall per the Rowlett Development Code or a 6 foot tall precast concrete fence with brick pattern installed anywhere within the incompatibility buffer in a straight line following the same general configuration of the property boundaries. Where adjacent to existing wood fences the masonry wall or precast concrete fence can deviate from following the general configuration of the property boundaries to maintain a distance of no less than 20 feet from the existing wood fence. 26" X 26" brick columns and/or pilasters constructed of the same brick that is on the building elevations shall be installed a minimum of 40' on center (no other column and/or pilaster requirements apply). Precast concrete fencing piers shall be designed based on site soil conditions, which shall be determined by an analysis of no less than three geotechnical borings. The design shall be signed and sealed by a professional structural engineer licensed to practice in the State of Texas. Public visibility requirements do not apply.
  - One canopy tree per 25 lineal feet. Canopy trees shall be a minimum of 20 feet away from existing wood fencing. For purposes of this section, the following trees, if they meet the standard requirements for Ornamental Trees as defined in the Rowlett Development Code, shall count one-for-one as a canopy tree and do not require clustering: Little Gem Magnolia, Eastern Red Cedar, Blue Point and Wichita Blue Juniper.
  - No evergreen shrubs shall be required.
- A 6 foot compatibility buffer shall be on the west property line and shall include:
  - No fencing shall be required, but cedar fencing shall be allowed.
  - One canopy tree per 30 lineal feet.
  - No evergreen shrubs shall be required.
- Detention shall be allowed in the front yard and front yard setback. Detention in the front yard and front yard setback must include the following:
  - One canopy tree per 40 lineal feet of detention pond perimeter lineal footage within the front yard.
  - Landscaping around the perimeter of the detention pond equal to 10% of the detention pond surface area within the front yard that consists of decorative grasses and groundcovers.
  - Full sodding and irrigation of the detention pond.
    - The above does not preclude detention from being fully outside the front yard. In the event that detention can be accommodated outside the front yard, the above provisions do not apply.
- Parking lot landscaping shall include:
  - 5% of the parking lot area shall be landscaped.
- Dumpster and trash compactor screening:
  - Dumpsters shall be enclosed on three sides with a six-foot masonry wall that matches the building façade materials and a solid double cedar gate with metal framing shall be required on the fourth side, and shall be kept closed at all times other than for immediate access.
- Open Space and Common Area requirements do not apply.
- Maintenance and Irrigation:
  - On the south side of the property between paving and/or buildings and the south property line, except for the Incompatibility Buffer and 15 feet beyond the paving, shall be allowed to be left in a natural vegetative state and shall not require irrigation.
- Grass and/or Sod shall be of a Bermuda type.

Off-street parking and loading for assisted living and/or memory care shall follow the Rowlett Development Code unless otherwise stated below:

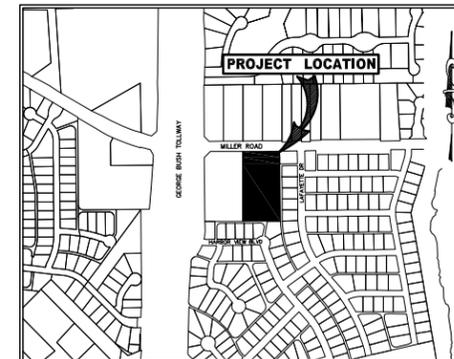
- Off-street Parking:
  - Parking shall be 1.5 spaces for every two beds or bedrooms, whichever is greater.
- Off-street Loading:
  - Off-street loading shall be required and is allowed (size and location) as shown on Exhibit “E”.
  - Off-street loading does not require screening.

Architectural Standards for assisted living and/or memory care:

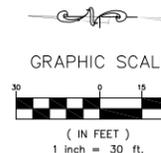
Architectural standards for assisted living and/or memory care shall follow the Rowlett Development Code unless otherwise stated below:

- Building Orientation:
  - The buildings shall be oriented as per Exhibit “E”.
- Roofs:
  - A pitched roof with dimensional 30 year shingles shall be allowed.
- Building Materials:
  - Front yard facing building elevations and the west side elevation of the western most building shall be 100 percent masonry construction, exclusive of roofs, dormers, roof vent screening, soffits/fascia, doors, and windows.
  - Side and rear yard facing elevations, with the exception of the west side elevation of the western most building, shall be a minimum of be 50 percent masonry construction, exclusive of roofs, dormers, roof vent screening, soffits/fascia, doors, and windows. Non-masonry materials, exclusive of roofs, roof vent screening, soffits/fascia, doors, and windows, shall be limited to horizontal cementitious siding.
  - A minimum of 20 percent of the front yard facing elevation masonry shall incorporate accent bricks or stones. If accent bricks or stones are used to accent windows, doorways, porticos, porte cocheres, canopies, awnings, or support structures, such application shall only satisfy a maximum of one-half of the required 20 percent per elevation. As the term is used in this subsection, an "accent brick or stone" is one that provides a contrast by color of the natural material or stucco, shape, size, and/or texture to the field or primary bricks or stones in an elevation. Side and rear yard facing elevations, with the exception of the west side elevation of the western most building, do not require accent brick or stones.

See Exhibit “F” for concept elevations. The concept elevations are allowed to be modified and approved by staff after zoning approval so long as the above minimum masonry requirements are met and the overall concept of the design does not change.



**VICINITY MAP**  
(NOT TO SCALE)



**NOTES:**

1. THE DEVELOPMENT OF THE SITE WILL BE IN ACCORDANCE WITH CITY OF ROWLETT DEVELOPMENT STANDARDS.
2. NO 100-YEAR FLOOD PLAIN EXISTS ON THE SITE
3. DEVIATIONS FROM CURRENT DEVELOPMENT STANDARDS/REGULATIONS NOT SPECIFICALLY ADDRESSED/LISTED FOR APPROVAL AS PART OF PLANNED DEVELOPMENT REGULATIONS MAY REQUIRE A HEARING/APPROVAL BY THE BOARD OF ADJUSTMENTS (BOA).
4. ALL CURRENT DEVELOPMENT REQUIREMENTS OF THE CITY AS AMENDED SHALL BE MET UNLESS APPROVED OTHERWISE WITH THESE PLANNED DEVELOPMENT ZONING DISTRICT DEVELOPMENT REGULATIONS.
5. THIS ZONING CONCEPT PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY AND SUBJECT TO CHANGE. THIS ZONING CONCEPT PLAN, ALONG WITH DEVELOPMENT REGULATIONS, IS INTENDED TO DESCRIBE THE INTENT OF THE PLANNED DEVELOPMENT. SIGNIFICANT DEVIATIONS FROM THIS ZONING CONCEPT PLAN, AS DETERMINED BY THE DIRECTOR OF PLANNING, WILL REQUIRE AMENDMENT TO THE ZONING CONCEPT PLAN AND, AS NECESSARY, THE DEVELOPMENT REGULATIONS.

# EXHIBIT "E" ZONING CONCEPT PLAN

A 3.639 acre tract of land situated in the O.V. Ledbetter Survey, Abstract Number 790, Dallas County, Texas

NO.	DATE	REVISION
	4/26/2016	CITY ZONING SUBMITTAL #1
	5/13/2016	CITY ZONING SUBMITTAL #2
	6/06/2016	CITY ZONING SUBMITTAL #3

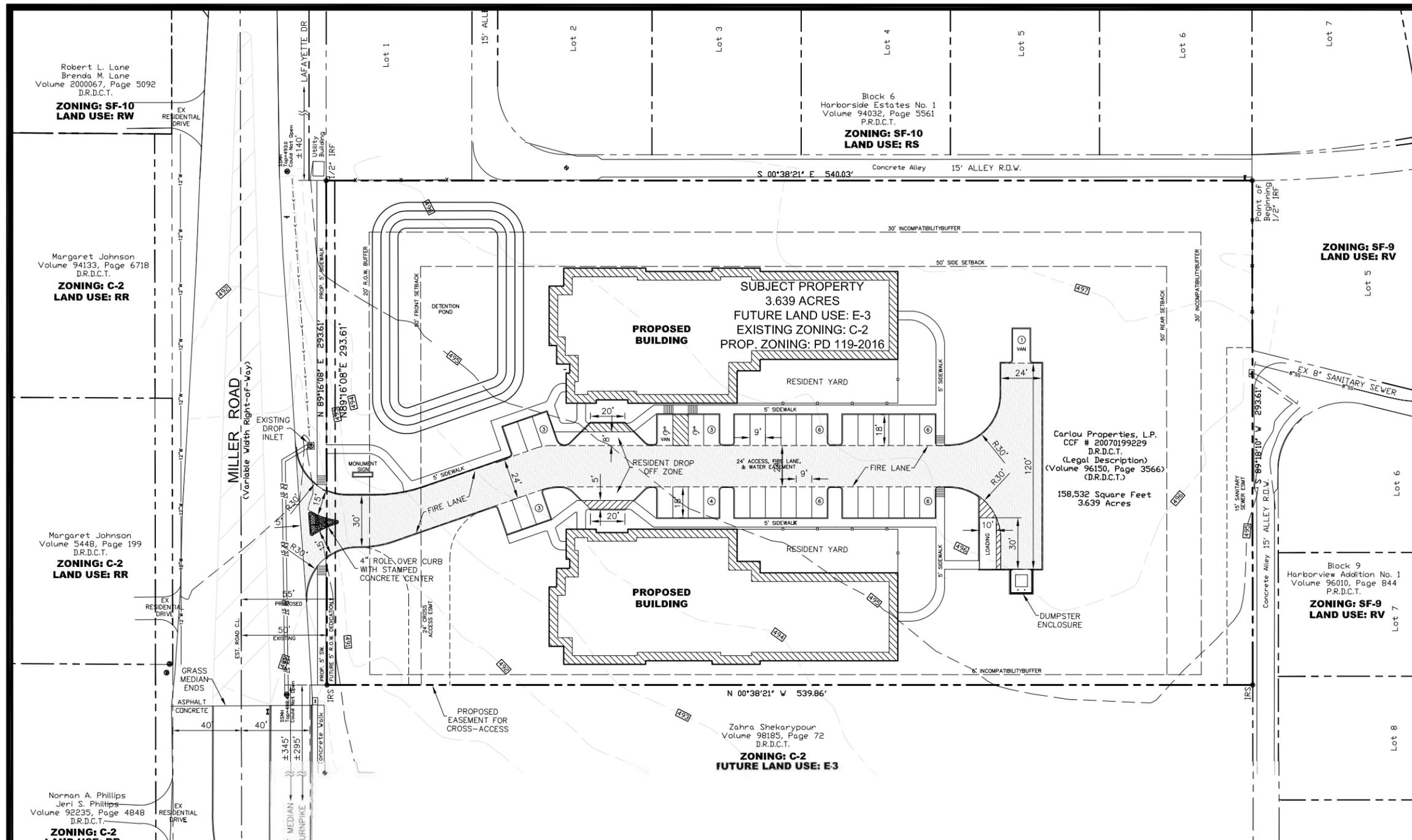
**ZONING CONCEPT PLAN**  
**EMERALD SPRINGS ESTATES**  
Miller Road - 3.639 Acre Tract  
Rowlett, Texas

DESIGN	DRAWN	DATE	SCALE
		06/06/16	

**DEVELOPER**  
EMERALD SPRING ESTATES  
RESIDENTIAL SENIOR CARE, LLC  
3131 MCKINNEY AVE, STE 600  
DALLAS, TX 75204  
972-814-1141  
ATT: DAVID KRUKIEL

**OWNER**  
CARLOU PROPERTIES, LP  
671 EAST MUIRFIELD RD  
GARLAND, TX 75044  
214-384-1778  
ATT: CHARLES COATES

**SURVEYOR**  
REALSEARCH OF TEXAS, LLC  
P.O. BOX 1006  
GODLEY, TX 76044  
817-937-2655  
ATT: JEREMY DEAL



**Site Data Summary Table**

*Note: The following only applies to Assisted Living and/or Memory Care. Any uses under C2 shall be per Rowlett Development Code*

General		Building:	
Case Number	PD 119-2016	Total Gross Intensity (FAR)	Not to Exceed 0.20 (Prior to Platting & ROW Dedication)
Project Name	Emerald Spring Estates	Total Square Footage	
Proposed Use	Assisted Living and/or Memory Care	Commercial	Not to Exceed 25,000 square feet
Future Land Use	E-3	Industrial	N/A
Proposed Future Land Use	N/A	Other	N/A
Existing Zoning District	C2	Property Development Regulations	
Proposed Zoning District	PD with C2 Base Zoning & Assisted Living and/or Memory Care	Max Building Coverage (permitted & Proposed)	None/25,000 square feet of Building(s)
Applicable Overlay	N/A	Minimum Lot Area (required & proposed)	None
Appraisal District Account number & County	65079056510010708	Minimum Lot Width (required & proposed)	None
		Minimum Lot Depth (required & proposed)	None
Site Data		Setbacks	
Gross Site Area	3.639 Acres (Prior to Platting & ROW Dedication)	Front	50'/50'
Site Frontage	293.61 feet	Side	East: 50'/50', West: 0'/0'
Site Width	293.61 feet	Rear	30'/50'
Site Depth	540.03 (Prior to Platting & ROW Dedication)	Structure Height (permitted & proposed)	90'/40' Measured to Ridge
Impervious Surface Area	No Maximum	Number of Stories (permitted & proposed)	No Max/1 Story
PerVIOUS Surface Area	No Minimum	Improvements	
Accessory Use %	5%	# of Resident Units	Not to Exceed 50 Beds
Open Space	None Required	Parking & Access	
Retention/Retention	To be provided with detailed engineering drawings at later date	Parking (total #)	0.75 per bed
Recreation	None Required	# Handicap	Two (2) as required per TAS
Reserve	None Required	# Loading	None
Civic	None Required	# Access Points	One (1)
Other	N/A		

Robert L. Lane  
Brenda M. Lane  
Volume 2000067, Page 5092  
D.R.D.C.T.

Margaret Johnson  
Volume 94133, Page 6718  
D.R.D.C.T.

Margaret Johnson  
Volume 5448, Page 199  
D.R.D.C.T.

Norman A. Phillips  
Jeri S. Phillips  
Volume 92235, Page 4848  
D.R.D.C.T.

Homer M. Christensen  
Joan G. Christensen  
Volume 78177, Page 2132  
D.R.D.C.T.

Block 6  
Harborside Estates No. 1  
Volume 94032, Page 5561  
P.R.D.C.T.

Carlou Properties, L.P.  
CCF # 20070199229  
D.R.D.C.T.  
(Legal Description)  
Volume 96150, Page 3566  
(D.R.D.C.T.)

Zahra Shekarypour  
Volume 98185, Page 72  
D.R.D.C.T.

Block 9  
Harborview Addition No. 1  
Volume 96010, Page 844  
P.R.D.C.T.

**Misc. – Parking Statistics**

The applicant has included in this application parking and loading requirements that deviate from the city standards for similar uses (requesting 1.5 spaces per every two beds, or .75 spaces per bed). Below is a summary of parking required/provided for three similar existing assisted living and/or memory care developments in North Texas. As you will see, the parking is very similar to or less than that being requested in this application. None of these developments have had any issues with the provided parking, even at peak times. Peak times are between 7AM and 4PM when the resident-to-caregiver ratio is at its highest of 3.5 caregivers to every resident. At this ratio the maximum parking utilized by staff with a maximum density of 50 beds/residents is 15. It is important to note that the residents of the proposed assisted living and/or memory care development do not drive and are not allowed to have cars at the facility. Accordingly, assuming 15 parking spaces for staff, there is a balance of 22 spaces available for guests of residents.

**Rufe Snow Drive, Keller, TX – 2015**

Number of Beds	56
<b>Required Parking</b>	
1 Space / 5 Beds	12
1 Space / Usable Outdoor Area (porches)	3
<b>Total Required</b>	<b>15</b>
<b>Parking Provided</b>	
Per Bed	0.36

**Marsh Lane, Carrollton, TX – 2014/2015**

Number of Beds	50
<b>Required Parking</b>	
1 Space / 2 Beds	25
<b>Total Required</b>	<b>15</b>
<b>Parking Provided</b>	
Per Bed	0.54

**Colonel Drive, Garland, TX – 2013/2014**

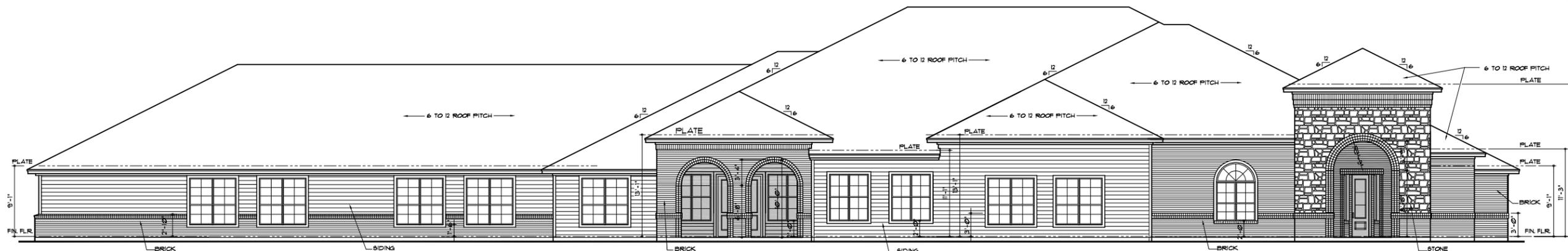
Number of Bedrooms/Beds	16/28
<b>Required Parking</b>	
1 Space / 3 Bedrooms (not beds)	6
1 Space / Day Time Staff	4
1 Space / 20 Rooms (not beds) for Guests	1
<b>Total Required</b>	<b>11</b>
<b>Parking Provided</b>	
Per Bedroom/Bed	0.69/0.39

For comparison purposes, the following is what the Off-street Parking requirements would be if required per the RDC:

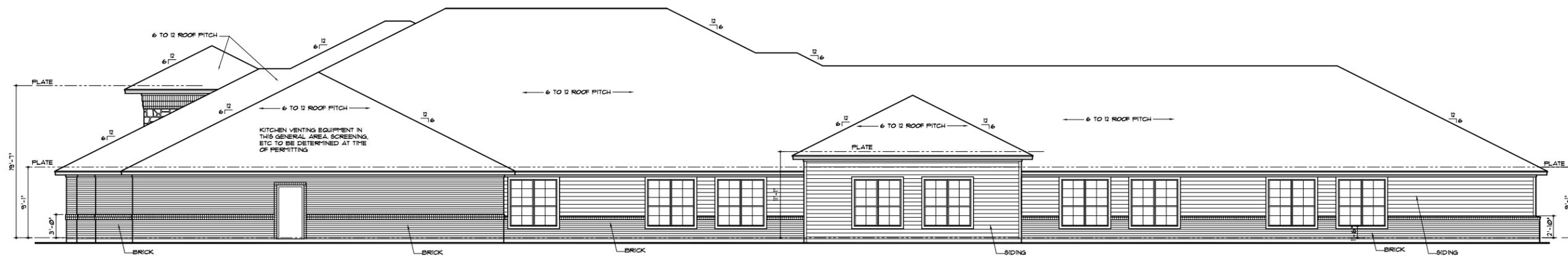
- One space for every two beds or bedrooms, whichever is greater.
  - 50 beds / 2 = **25 Spaces**
- One space for every 100 square feet of assembly area.

Dining Area: 781 SF X 2 Buildings = 1,562 SF  
Living Area: 1,247 SF X 2 Buildings = 2,494 SF  
Sitting Area: 535 SF X 2 Buildings = 1,070 SF  
○ 5,126 SF / 100 = **52 Spaces**

**22 Spaces + 52 Spaces = 77 Spaces**



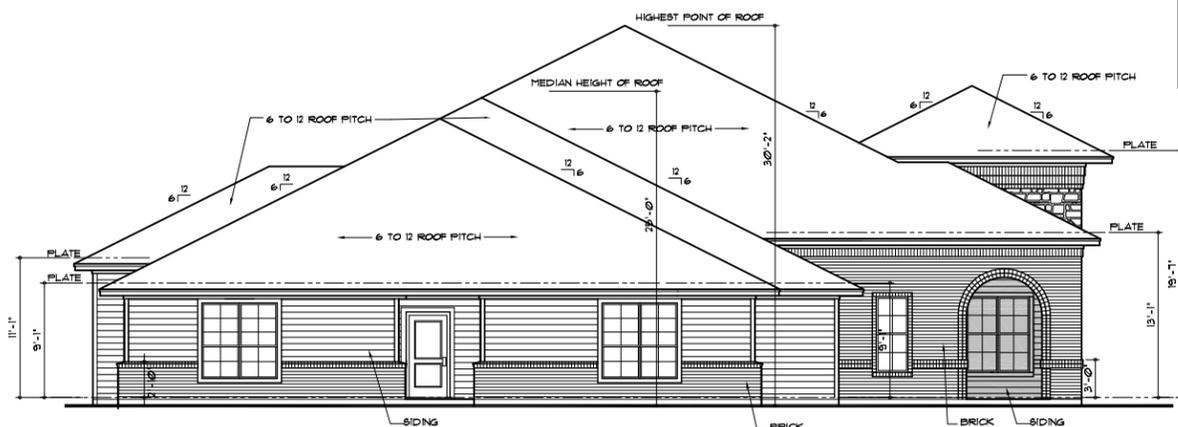
4 SIDE ELEVATION



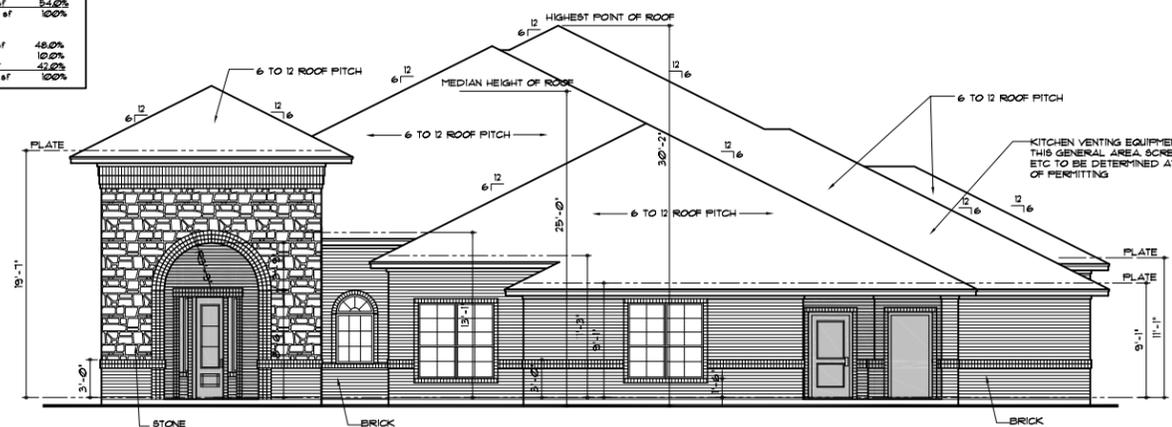
3 SIDE ELEVATION  
NON-FGBT FACING

**FACADE MATERIAL CALCULATIONS**

ELEVATION	SIDING	STONE	BRICK	TOTAL
ELEVATION 1	0 sf	151 sf	538 sf	689 sf
	0.0%	22.0%	78.0%	100%
ELEVATION 2	352 sf	155 sf	261 sf	768 sf
	50.0%	20.0%	42.0%	100%
ELEVATION 3	575 sf	16 sf	688 sf	1279 sf
	48.0%	1.0%	54.0%	100%
ELEVATION 4	708 sf	151 sf	621 sf	1480 sf
	48.0%	10.0%	42.0%	100%

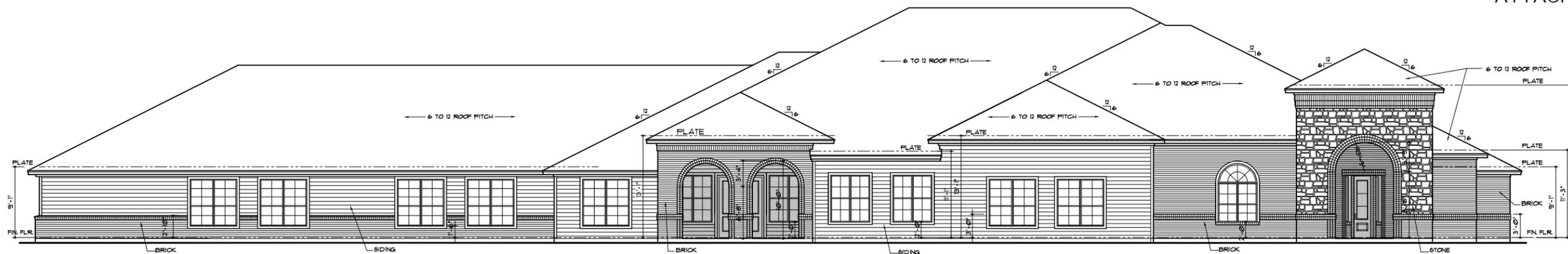


2 REAR ELEVATION

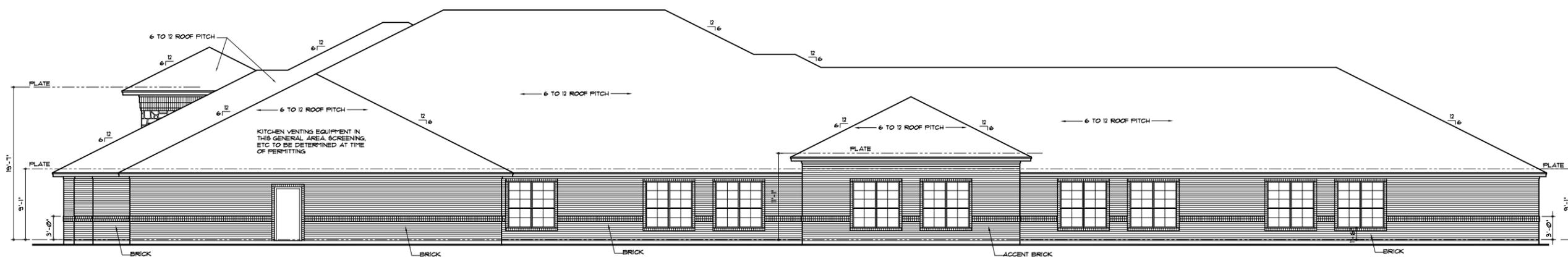


1 FRONT ELEVATION

**EMERALD SPRING ESTATES**  
CONCEPT ELEVATIONS  
EXHIBIT "F"  
East Building



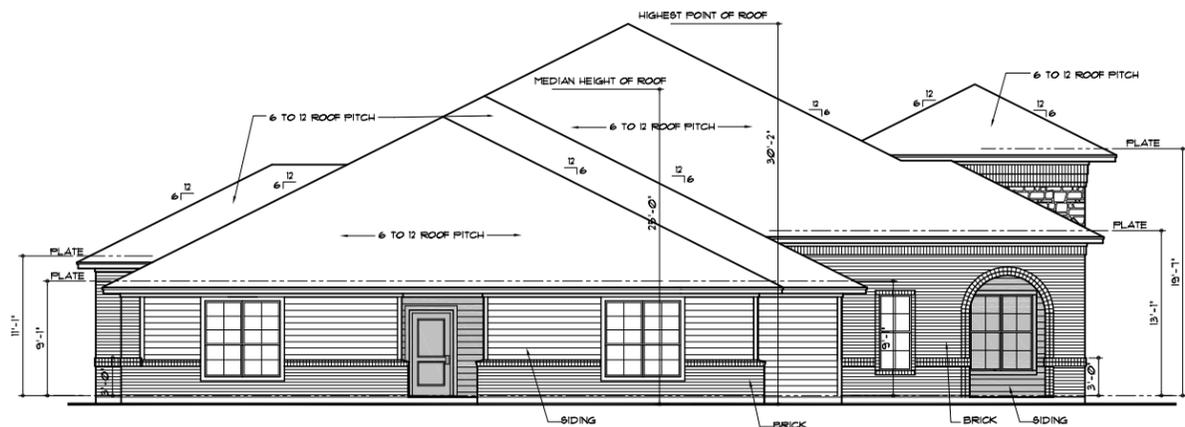
4 SIDE ELEVATION



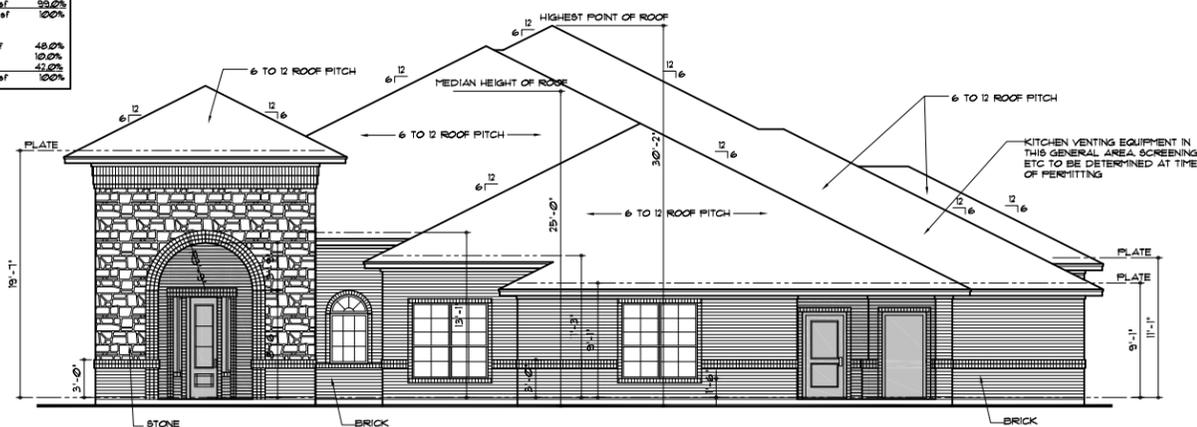
3 SIDE ELEVATION  
PG&T FACING

**FACADE MATERIAL CALCULATIONS**

ELEVATION	Material	Area (sf)	Percentage
ELEVATION 1	SIDING	0	0.0%
	STONE	151	22.0%
	BRICK	538	78.0%
	<b>TOTAL</b>	<b>689</b>	<b>100%</b>
ELEVATION 2	SIDING	284	4.0%
	STONE	39	0.5%
	BRICK	362	5.0%
	<b>TOTAL</b>	<b>705</b>	<b>100%</b>
ELEVATION 3 - PG&T FACING	SIDING	0	0.0%
	STONE	16	1.0%
	BRICK	1260	99.0%
	<b>TOTAL</b>	<b>1276</b>	<b>100%</b>
ELEVATION 4	SIDING	709	48.0%
	STONE	151	10.0%
	BRICK	621	42.0%
	<b>TOTAL</b>	<b>1480</b>	<b>100%</b>



2 REAR ELEVATION



1 FRONT ELEVATION

## REGIONAL TRADE | AREA E-3

### VISION

Regional Trade will be the City's most obvious location for region-serving commercial uses, in-line commercial and professional space users, and moderate scale "Class B" office buildings. With its visibility and access from PGBT, the Regional Trade subarea will likely attract large format retailers ranging in size from 25K to 100K+ square feet. This subarea provides a location in Rowlett for these uses, which are not appropriate in the Northshore, Center for Commerce and Industry, and Business Beltway subareas. To this end, the City will need to prepare for the potential loss of existing commercial operators on Lakeview Parkway to sites located adjacent to the PGBT. In the long-term these uses may be replaced by mixed-use products that outgrow their location within Old Town.

Essential elements that will have to be in place in order for this investment scenario to be realized include: well-signed and visible access points from PGBT; connections to area activity centers; and, sites "readied" for development and devoid of physical challenges.



**DEVELOPABLE ACRES:** \*      **107**

### PRODUCT TYPES:

- Highway Commercial
- Class B Office
- Flex Office
- Limited-Service Hotels

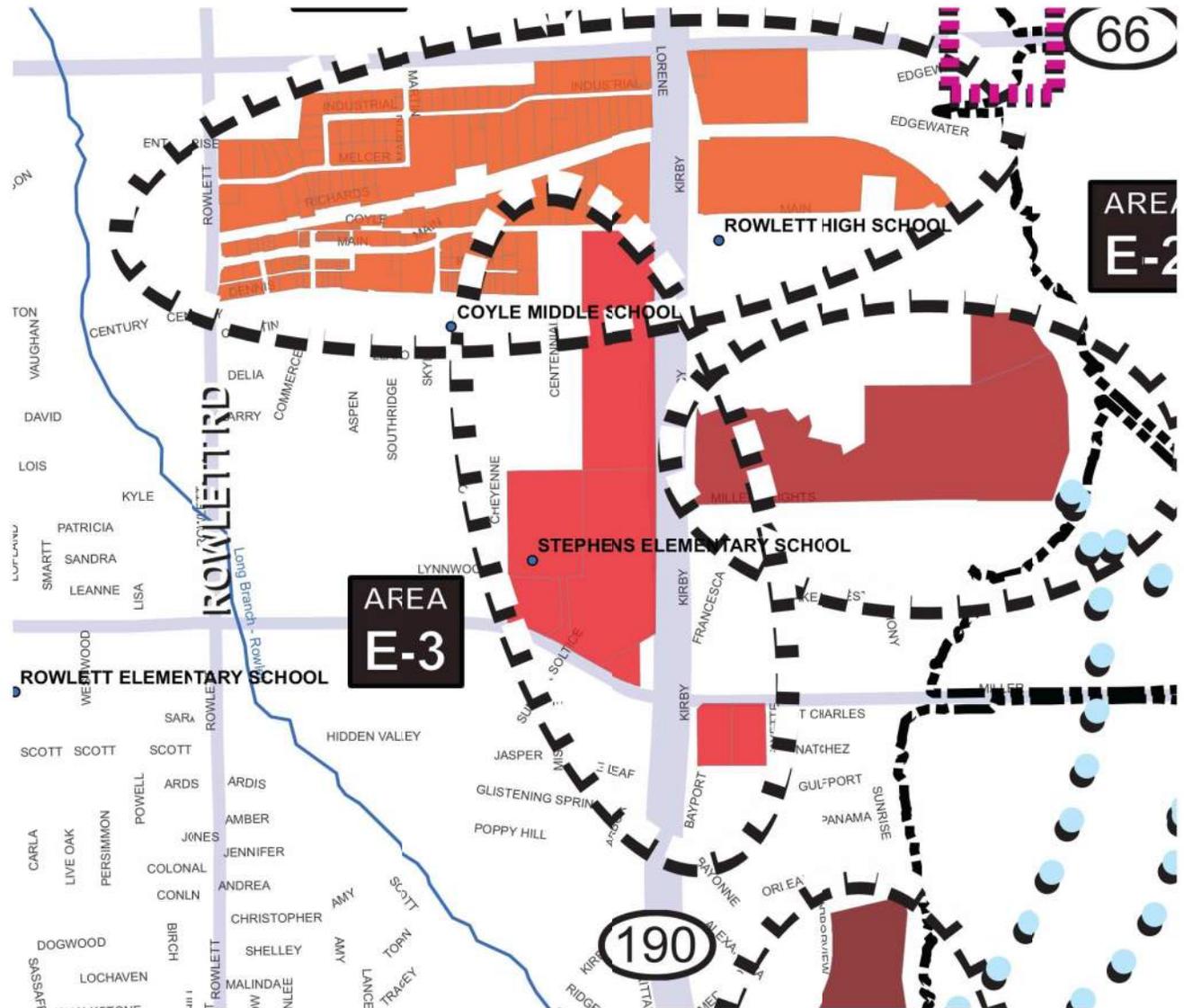
### SUPPORTABLE PSYCHOGRAPHICS

- American Dreams
- Multi-Culti Mosaic

*\* Net floodplain and parcels less likely to redevelop in the near-term (five to 10 years).*

**MARKET**

- Leveraging the renaissance of existing commercial corridors within the community combined with the introduction of tollway frontage, large-scale commercial uses will likely migrate to this location.
- Parcels in this subarea will be well-positioned to capture a fair share of the Trade Area’s growth –9.6+ million square feet of office space in the Trade Area, 14.3 million square feet of industrial space in the Trade Area, and 2.5 million square feet of commercial retail space in the Trade Area.



## REGIONAL TRADE | AREA E-3

### GUIDING PRINCIPLES



	GUIDING PRINCIPLE	E-3 REGIONAL TRADE
1	Value existing neighborhoods	
2	Grow the City's economy through diversification of job and business opportunities	**
3	Make Rowlett a community that is attractive to people at all stages of their lives	
4	Invest in places of lasting value and distinctive character	
5	Maximize the benefits of major public infrastructure investments (existing, planned)	***
6	Use Lake Ray Hubbard and Rowlett's natural assets to create a distinctive identity...	
7	Diversify mobility options within the City and connect activity areas	*
8	Create centers with a mix of activities at key locations in Rowlett	
9	Balance growth through efficient development patterns	**
10	Support quality educational resources to meet the needs of Rowlett residents...	
11	Position Rowlett for an appropriate scale of investment and reinvestment...	***
12	<b>Fund public investment that leverages desired private investment</b>	
13	<b>Ensure that <i>Realize Rowlett 2020</i> is a statement of the City's policy for future...</b>	
	<i>Bold principles relate to citywide concerns and are not specific to any individual geographic area</i>	
	<i>Key:</i>	
	<i>Strongest Support of Principle</i>	****
	<i>Moderate Support of Principle</i>	***
	<i>Some Support of Principle</i>	**
	<i>Incidental Support of Principle</i>	*

## IMPLICATIONS

Physical	Mix of developed and undeveloped commercial and remnant sites.
	Valuable visibility to and from PGBT.
	Opportunities to support larger format commercial and office development.
	Slope (terrain) issues will impact the size of commercial footprints that can feasibly locate here.
	Existing floodplain and gas line divide the property and will create development challenges.
Infrastructure	Infrastructure / utilities to support this vision generally exist in the area.
	A utility corridor east of PGBT may be a barrier for some types of development products in the near-term (mixed-use).
Access	New access is being provided by PGBT and associated frontage roads.
	Exit and entrance ramps on the northbound side will serve the site well, however, roads into the area will need to be carefully located to maximize access opportunities.
	Access from northbound PGBT is adequate.
	A rubber-tired or fixed trolley could connect the area to the DART station in Old Town.
Market	The area's adjacency to existing industrial and other business uses, along with its proximity to both DART and adjacency to PGBT will influence the uses that develop here.
	As the City strategically precludes large format retail in other subareas including Northshore, Center for Commerce and Industry and Business Beltway, those uses will likely migrate to Regional Trade.
	In addition to new uses, the City should prepare for the loss of some existing retailers currently located on SH 66 (Lakeview Parkway) to this area given its enhanced visibility - leaving the City with redevelopment challenges on this principle east-west corridor.
Financial	Tax Increment Financing (TIF) or Municipal Management District (MMD) revenues should be used to assist with preparing this area for new investment including assisting with siting viable businesses - commercial retail and office.
Regulatory	Current zoning in the area will accommodate the envisioned uses.
	With a new wave of large retailers in this area, the City will need to develop policies that protect itself against the ultimate demise or reconfiguration of uses from the Lakeview Parkway corridor.
Organizational	The City should encourage regional retail opportunities in this location, largely in an effort to capitalize on its tax revenues, but all also to prevent the stripping out of other commercial locations in the City.
	Whereas the City will play a more significant role in other locations in order to advance the vision, the market will take care of this area.

## REGIONAL TRADE | AREA E-3

### IMPLEMENTATION

IMPLEMENTATION STRATEGIES (ACTIONS)	TIMING
<i>The specific strategy (action) to be taken</i>	<i>Priority, short, medium, long-term, future or on-going</i>
Market and promote the area as a destination for large format commercial retailers and modest office development.	Short - to Mid-Term
Prepare an urban design framework that identifies locations and design concepts for district gateways, nodes and streetscape for the area, and the commercial areas of the PGBT corridor.	Short - to Mid-Term
Prepare design guidelines that control quality / consistency of development.	Mid-Term
Complete transit connections between this area and Old Town through a shuttle or trolley system.	Mid-Term
Negotiate access rights with TxDOT and NTTA for future driveway connections along the frontage road.	Short-Term
Develop several regulating tools that protect the City in the event future retailers ultimately vacate their buildings (i.e., “go dark” provisions, escrow dollars for demolition, right of first refusal, etc.)	Short-Term
Anticipate the loss of existing retailers in the City to this location and prepare a redevelopment strategy for the reinvention and retenanting of these more established commercial locations.	Short-Term
Use Tax Increment Financing (TIF) or Municipal Management District (MMD) revenues to assist with preparing this area for new investment including siting viable businesses - commercial, retail and office.	On-Going



Department of Development Services

05-31-16P01:54 RCVD

COURTESY NOTICE OF PUBLIC HEARING

TO: Property Owner
RE: Application for a Zoning Change
LOCATION: The subject property is located at 4906 Miller Road further described as being 3.639 +/- acres in the Oliver V Ledbetter Survey, Abstract No. 790, City of Rowlett, Dallas County, Texas. A map is attached for reference.
EXPLANATION OF REQUEST: The applicant requests a rezoning from the existing General Commercial/Retail (C-2) Zoning District to a Planned Development District with an underlying C-2 base zoning district to allow an assisted living/memory care facility (PD 119-2016).

- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: Do NOT BELIEVE IT WILL BE A NEGATIVE

MEMBER OF THE COMMUNITY
PROPERTY OWNER NAME: RONALD ELEGY WARRIOR
SIGNATURE: Ronald E. Warrior
ADDRESS: 3014 HARBORVIEW ROWLETT 75088

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14th of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5th of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.
Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Development Service Department by 5 pm on Wednesday, June 8, 2016, for your comments to be included in the Planning and Zoning Commission packet and/or by Wednesday, June 29, 2016, to be included in the City Council packet. All responses received by Wednesday, June 29, 2016, will be forwarded to the Council as well; it is not necessary to respond twice. Responses received after the times noted above shall not be counted in the record of response.

Table with 2 columns: Contact information for questions and return instructions by fax or mail.



Department of Development  
Services

NOTICE OF PUBLIC HEARING

TO: Property Owner 06-02-16A10:54 RCVD  
 RE: Application for a Zoning Change  
 LOCATION: The subject property is located at 4906 Miller Road further described as being 3.639 +/- acres in the Oliver V Ledbetter Survey, Abstract No. 790, City of Rowlett, Dallas County, Texas. A map is attached for reference. This notice and the notification area are required under Chapter 211.007 of the Texas Local Government Code.  
 EXPLANATION OF REQUEST: The applicant requests a rezoning from the existing General Commercial/Retail (C-2) Zoning District to a Planned Development District with an underlying C-2 base zoning district to allow an assisted living/memory care facility (PD 119-2016).

- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:  
 I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: This area should be maintained residential. We currently have commercial on the west side of GB Fwy. Find an alternate location.

PROPERTY OWNER NAME

(print):

ORLANDO A. MON

SIGNATURE:

Orlando A. Mon

ADDRESS:

4909 Harborview Boulevard

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14<sup>th</sup> of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5<sup>th</sup> of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

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Any owner of property subject to a proposed rezoning or affected by a proposed rezoning may protest the rezoning by filing a written protest (this form is sufficient) with the Director of Development Services within the time specified above. The protest shall object to the zoning map amendment, contain a legal description of the property on behalf of which the protest is made, and be signed by the owner of the property. If protests in the form of opposition are received from property owners within 200 feet of the subject property, and the property owners own a combined minimum of 20 percent or more of the land area, approval by the city council shall only occur with a concurring vote of at least three-fourths of the full membership of the city council.

If you have any questions concerning this request, please contact the Department of Development Services

Phone 972-412-6166

FAX 972-412-6228

[glangford@rowlett.com](mailto:glangford@rowlett.com)

RETURN BY FAX OR MAIL

City of Rowlett

Development Services

PO Box 99

Rowlett, TX 75030-0099



Department of Development Services

COURTESY NOTICE OF PUBLIC HEARING

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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS: I AM UNSURE AT THIS TIME. I WANT TO KNOW THE COMPANY WHO WILL BE RUNNING THE CENTER &
I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS: I WANT THE CITY CODE TO ONLY ALLOW NEW LINO BRICK OR STONE SCREENING WALL TO KEEP HARMONY WITH THE HIGH QUALITY WALL SURROUNDING OUR NDA & OTHER AREAS. ON SUB-ADJACENT QUALITY WALLS

COMMENTS: I WANT THE CITY CODE TO ONLY ALLOW NEW LINO BRICK OR STONE SCREENING WALL TO KEEP HARMONY WITH THE HIGH QUALITY WALL SURROUNDING OUR NDA & OTHER AREAS. ON SUB-ADJACENT QUALITY WALLS

PROPERTY OWNER NAME (print): TIM PUNK 5114 MATCHER ROWLETT TX 75082
SIGNATURE: [Handwritten Signature]
ADDRESS: 5114 MATCHER DR ROWLETT TX 75082

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14th of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5th of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Development Service Department by 5 pm on Wednesday, June 8, 2016, for your comments to be included in the Planning and Zoning Commission packet and/or by Wednesday, June 29, 2016, to be included in the City Council packet. All responses received by Wednesday, June 29, 2016, will be forwarded to the Council as well; it is not necessary to respond twice. Responses received after the times noted above shall not be counted in the record of response.

Table with 2 columns: Contact information for questions and return instructions by fax or mail.



Department of Development Services

NOTICE OF PUBLIC HEARING

TO: Property Owner
RE: Application for a Zoning Change
LOCATION: The subject property is located at 4905 Miller Road further described as being 3.639 +/- acres in the Oliver V Ledbetter Survey, Abstract No. 790, City of Rowlett, Dallas County, Texas. A map is attached for reference. This notice and the notification area are required under Chapter 211.007 of the Texas Local Government Code.

EXPLANATION OF REQUEST: The applicant requests a rezoning from the existing General Commercial/Retail (C-2) Zoning District to a Planned Development District with an underlying C-2 base zoning district to allow an assisted living/memory care facility (PD 119-2016).

[ ] I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

[ ] I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: No variance allowed on screening walls, let inside on the city code of city hand laid brick or stone screening walls - not in form of concrete or wood. Brick/stone exterior should stay w/ city code.

PROPERTY OWNER NAME (print): Virginia Sullivan

SIGNATURE: [Signature]

ADDRESS: 4905 Harborside Blvd Rowlett TX 75088

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14th of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5th of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Development Service Department by 5 pm on Wednesday, June 8, 2016, for your comments to be included in the Planning and Zoning Commission packet and/or by Wednesday, June 29, 2016, to be included in the City Council packet. All responses received by Wednesday, June 29, 2016, will be forwarded to the Council as well; it is not necessary to respond twice. Responses received after the times noted above shall not be counted in the record of response.

Any owner of property subject to a proposed rezoning or affected by a proposed rezoning may protest the rezoning by filing a written protest (this form is sufficient) with the Director of Development Services within the time specified above. The protest shall object to the zoning map amendment, contain a legal description of the property on behalf of which the protest is made, and be signed by the owner of the property. If protests in the form of opposition are received from property owners within 200 feet of the subject property, and the property owners own a combined minimum of 20 percent or more of the land area, approval by the city council shall only occur with a concurring vote of at least three-fourths of the full membership of the city council.

If you have any questions concerning this request, please contact the Department of Development Services
Phone 972-412-6166
FAX 972-412-6228
glangford@rowlett.com

RETURN BY FAX OR MAIL
City of Rowlett
Development Services
PO Box 99
Rowlett, TX 75030-0099



Department of Development  
Services

## NOTICE OF PUBLIC HEARING

**TO:** Property Owner

**RE:** Application for a Zoning Change

**LOCATION:** The subject property is located at 4906 Miller Road further described as being 3.639 +/- acres in the Oliver V Ledbetter Survey, Abstract No. 790, City of Rowlett, Dallas County, Texas. A map is attached for reference. This notice and the notification area are required under Chapter 211.007 of the Texas Local Government Code.

**EXPLANATION OF REQUEST:** The applicant requests a rezoning from the existing General Commercial/Retail (C-2) Zoning District to a Planned Development District with an underlying C-2 base zoning district to allow an assisted living/memory care facility (PD 119-2016).

- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS: Only with the conditions
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS: attached

**COMMENTS:** Please see attached detail of conditions required for an 'in favor' response to this request. We are a 200 ft responder, and the subject property directly abuts to our property line and fence with no alley separation, unlike all the other directly affected properties. See attached photos and conditions.

## PROPERTY OWNER NAME

(print):

Richard and Sue Rabinowitz

SIGNATURE:

6/7/2016

ADDRESS:

3110 Harborview Boulevard, Rowlett, 75088

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 2901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 30<sup>th</sup> of June, 2016, and that the City Council will hold a public hearing at 7:00 p.m. on the 5<sup>th</sup> of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Development Services Department by 5 pm on Wednesday, June 8, 2016, for your comments to be included in the Planning and Zoning Commission packet and/or by Wednesday, June 29, 2016, to be included in the City Council packet. All responses received by Wednesday, June 29, 2016, will be forwarded to the Council as well; it is not necessary to respond later. Responses received after the dates noted above shall not be counted in the record of response.

Any owner of property subject to a proposed rezoning or affected by a proposed rezoning may protest the rezoning by filing a written protest (this form is sufficient) with the Director of Development Services within the time specified above. The protest shall object to the zoning map amendment, contain a legal description of the property on behalf of which the protest is made, and be signed by the owner of the property. If protests in the form of opposition are received from property owners within 200 feet of the subject property, and the property owners own a combined minimum of 20 percent or more of the land area, approval by the city council shall only occur with a concurring vote of at least three-fourths of the full membership of the city council.

If you have any questions concerning this request,  
please contact the Department of Development  
Services

Phone 972-412-6166

FAX 972-412-6228

alanford@rowlett.com

RETURN BY FAX OR MAIL

City of Rowlett

Development Services

PO Box 99

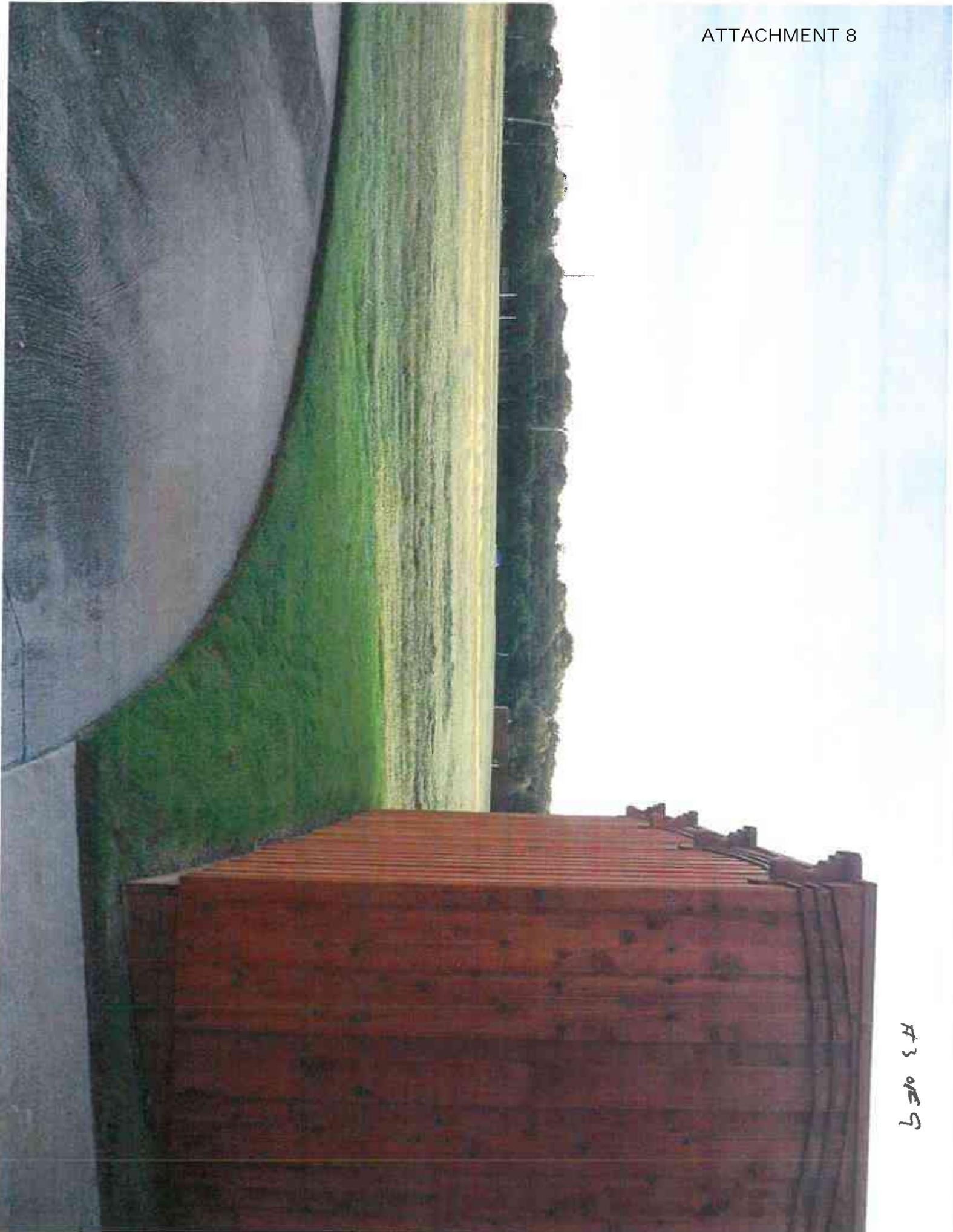
Rowlett, TX 75080-0099

06-08-16A08:50 RCVD

From: Richard and Sue Rabinowitz, 3110 Harborview Boulevard, Rowlett, 200 foot Notice Response.

Conditions and photo attachments in response to Application for Zoning Change For 4906 Miller Road, Rowlett.

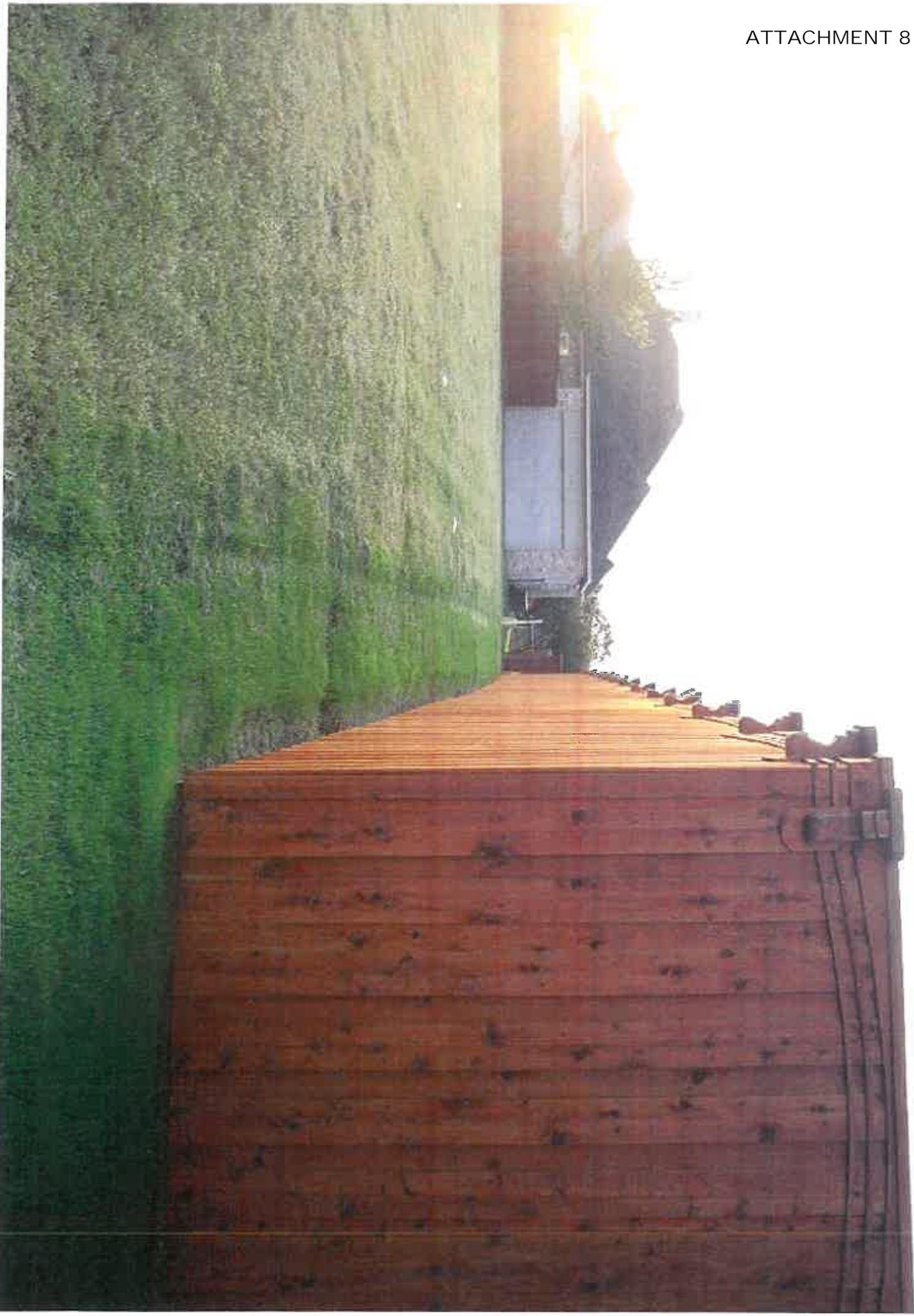
- 1) Due to our property is uniquely directly adjacent building line as per photo attached (no separation by concrete alley or walkway etc. His property lines up directly to our fence as per the survey stake in the attached photos.
- 2) The planning drawing shows a compatibility buffer line with original spec of 20 ft., now moved to 30 ft. We want to make sure this buffer line is 30 ft. away from our fence. The line was not moved on the drawing, only the verbiage was changed. We are clearly asking for his screening wall to be 30 ft. from our property line, not 20 ft.
- 3) As per conversation with Mr. Langford, City of Rowlett planner, the plan calls for landscape with large shade trees. We are opposed to large fast growing umbrella trees with extensive root systems such as Live Oaks, to be planted adjacent to the 100 ft. of my existing fence line with faces the back of the project. Reason is we don't want the tree umbrellas growing over our property or the root systems growing under our fence posts. I myself and our neighbors have experienced foundation problems and walkway uplifting from these types of tree root systems. We prefer tall Pine type firs, Magnolias, etc.
- 4) Screening walls must be constructed of hand laid brick or stone. This is to be in harmony with existing screening walls to our sub-division, Harborside, and City code. No variance to allow any wood fencing, or slip concrete type screening walls.
- 5) No variance to be allowed on use of Hardy Board or other type of siding on the exterior fascia of the buildings. Buildings are to be built to the exact existing high quality standards of Rowlett building codes.
- 6) Grass / Sod to be used in "Compatibility Buffer Areas" must be Bermuda Grass only so as not to have an invasion species of turf invading my adjacent grassy and manicured areas! Bermuda Grass is the standard for Turf originally installed by the Builder for the entire The Harborside Community.
- 7) Request, not condition: Dry ponds to be installed at front of property to address drainage overflow; we are hoping there is some type of City standard to maintain these from stagnant standing water, algae, and mosquitos. Preference would be for them to have no standing water and instead install drainage that will not keep standing water.
- 8) Request, not condition: if there is a direct access turning lane into the project, if it can be extended to Lafayette Drive entrance that would help with the safety issue that is presently in place with traffic coming down Miller toward Lafayette, with drivers not stopping to allow drivers to safely turn into Lafayette. (Avoidance of rear end collisions at Lafayette Drive.)



A 3 01E 9



#4069



#5-069



#6 BF9



A7059



# 8 6 F 9

#9 049





Department of Development Services

NOTICE OF PUBLIC HEARING

TO: [Redacted]
FROM: [Redacted]
SUBJECT: [Redacted]
The applicant requests that the existing General Commercial/Retail (C-2) Zoning District be amended to allow [Redacted] in an underlying C-2 base zoning district to allow [Redacted] (19-2015).

EXPLANATION OF REQUEST: The applicant requests that the existing General Commercial/Retail (C-2) Zoning District be amended to allow [Redacted] in an underlying C-2 base zoning district to allow [Redacted] (19-2015).

I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

REMARKS: The developer is proposing the use Hardy Board siding instead of stone or brick for the fence between properties.

PROPERTY OWNER NAME: Stephen G Hatcher
ADDRESS: 5102 Metchee Dr. Rowlett, TX 75088

Additional comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3001 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 1st of June, 2015, and the City Council will hold a public hearing at 7:30 p.m. on the 5th of July, 2015. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

Please reply promptly in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Development Services Department by 5 p.m. on Wednesday, June 3, 2015, for your comments to be included in the Planning and Zoning Commission packet and/or by Wednesday, June 23, 2015, to be included in the City Council packet. All responses received by Wednesday, June 23, 2015, will be forwarded to the Council as well. It is not necessary to send twice. Responses received after the times noted above shall not be counted in the record of response.

Owner of property subject to a proposed rezoning or affected by a proposed rezoning may protest the rezoning by filing a protest (this form is sufficient) with the Director of Development Services within the time specified above. The protest must be in the form of a written statement, contain a legal description of the property on behalf of which the protest is made, signed by the owner of the property. If protests in the form of opposition are received from property owners within 100 feet of the subject property, and the property owners own a combined minimum of 20 percent or more of the land area, approval of the rezoning shall only occur with a concurring vote of at least three-fourths of the full membership of the city council.

If you have any questions concerning this request, please contact the Department of Development Services
Phone: 972-412-6165
FAX: 972-412-6228
rlmaxford@rowlett.com

ROBERT E. PAXTON, III
City of Rowlett
Development Services
PO Box 59
Rowlett, TX 75080-0059



Department of Development Services

NOTICE OF PUBLIC HEARING

TO: Property Owner
RE: Application for a Zoning Change
LOCATION: The subject property is located at 4906 Miller Road further described as being 3.639 +/- acres in the Oliver V Ledbetter Survey, Abstract No. 790, City of Rowlett, Dallas County, Texas.

EXPLANATION OF REQUEST: The applicant requests a rezoning from the existing General Commercial/Retail (C-2) Zoning District to a Planned Development District with an underlying C-2 base zoning district to allow an assisted living/memory care facility (PD 119-2016)...

- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

No variance allowed on screening walls, we insist on the city code of only hand laid brick or stone screening walls and in favor of concrete or wood. Brick/stone exterior should stay w/ city code

PROPERTY OWNER NAME (print):

Virginia Sullivan

SIGNATURE:

V. Sullivan

ADDRESS: 4905 Harborview Blvd Rowlett TX 75088

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14th of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5th of July, 2016.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Development Service Department by 5 pm on Wednesday, June 8, 2016, for your comments to be included in the Planning and Zoning Commission packet and/or by Wednesday, June 29, 2016, to be included in the City Council packet.

Any owner of property subject to a proposed rezoning or affected by a proposed rezoning may protest the rezoning by filing a written protest (this form is sufficient) with the Director of Development Services within the time specified above. The protest shall object to the zoning map amendment, contain a legal description of the property on behalf of which the protest is made, and be signed by the owner of the property.

If you have any questions concerning this request, please contact the Department of Development Services
Phone 972-412-6166
FAX 972-412-6228
glangford@rowlett.com

RETURN BY FAX OR MAIL
City of Rowlett
Development Services
PO Box 99
Rowlett, TX 75030-0099



Department of Development  
Services

## NOTICE OF PUBLIC HEARING

**TO:** Property Owner

**RE:** Application for a Zoning Change

**LOCATION:** The subject property is located at 4906 Miller Road further described as being 3.639 +/- acres in the Oliver V Ledbetter Survey, Abstract No. 790, City of Rowlett, Dallas County, Texas. A map is attached for reference. This notice and the notification area are required under Chapter 211.007 of the Texas Local Government Code.

**EXPLANATION OF REQUEST:** The applicant requests a rezoning from the existing General Commercial/Retail (C-2) Zoning District to a Planned Development District with an underlying C-2 base zoning district to allow an assisted living/memory care facility (PD 119-2016).

I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:** STAY WITH CITY STANDARDS. THIS  
WILL DOWNGRADE THE COMMUNITY

**PROPERTY OWNER NAME**

(print):

DANIEL DEVELDE

**SIGNATURE:**

Daniel Develde

**ADDRESS:**

5202 SAINT CHARLES DR

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14<sup>th</sup> of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5<sup>th</sup> of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Development Service Department by 5 pm on Wednesday, June 8, 2016, for your comments to be included in the Planning and Zoning Commission packet and/or by Wednesday, June 29, 2016, to be included in the City Council packet. All responses received by Wednesday, June 29, 2016, will be forwarded to the Council as well; it is not necessary to respond twice. Responses received after the times noted above shall not be counted in the record of response.

Any owner of property subject to a proposed rezoning or affected by a proposed rezoning may protest the rezoning by filing a written protest (this form is sufficient) with the Director of Development Services within the time specified above. The protest shall object to the zoning map amendment, contain a legal description of the property on behalf of which the protest is made, and be signed by the owner of the property. If protests in the form of opposition are received from property owners within 200 feet of the subject property, and the property owners own a combined minimum of 20 percent or more of the land area, approval by the city council shall only occur with a concurring vote of at least three-fourths of the full membership of the city council.

If you have any questions concerning this request,  
please contact the Department of Development  
Services

Phone 972-412-6166

FAX 972-412-6228

[glangford@rowlett.com](mailto:glangford@rowlett.com)

**RETURN BY FAX OR MAIL**

City of Rowlett

Development Services

PO Box 99

Rowlett, TX 75030-0099

06-07-16P02:46 RCVU



Department of Development Services

COURTESY NOTICE OF PUBLIC HEARING

TO: Property Owner
RE: Application for a Zoning Change
LOCATION: The subject property is located at 7900 Chiesa Road further described as being 26.06 +/- acres consisting of all of Tract I in the James Saunders Survey, Abstract No. 1424, and a portion of Lot 1, Block 1, Crossroads Church Addition, City of Rowlett, Dallas County, Texas. A map is attached for reference.
EXPLANATION OF REQUEST: The applicant requests a rezoning from the existing Single Family-10 and Single Family-8 Zoning Districts to a Planned Development District with an underlying Single Family-S (SF-S) base zoning district to build a single family subdivision. (PD115-2016)

- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
[X] I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: Too dense. Houses too small. I am against "0" lot size subdivisions. This will decrease surrounding property values.

PROPERTY OWNER NAME (print): Harold Robertson
SIGNATURE: [Handwritten Signature]
ADDRESS: 7213 Mercurys Rd.

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14th of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5th of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Development Service Department by 5 pm on Wednesday, June 8, 2016, for your comments to be included in the Planning and Zoning Commission packet and/or by Wednesday, June 29, 2016, to be included in the City Council packet. All responses received by Wednesday, June 29, 2016, will be forwarded to the Council as well; it is not necessary to respond twice. Responses received after the times noted above shall not be counted in the record of response.

If you have any questions concerning this request, please contact the Department of Development Services
Phone 972-463-3906
FAX 972-412-6228
kgoodrich@rowlett.com

RETURN BY FAX OR MAIL
City of Rowlett
Development Services
PO Box 99
Rowlett, TX 75030-0099



Department of Development Services

NOTICE OF PUBLIC HEARING

TO: Property Owner
RE: Application for a Zoning Change
LOCATION: The subject property is located at 4906 Miller Road further described as being 3.639 +/- acres in the Oliver V Ledbetter Survey, Abstract No. 790, City of Rowlett, Dallas County, Texas. A map is attached for reference. This notice and the notification area are required under Chapter 211.007 of the Texas Local Government Code.
EXPLANATION OF REQUEST: The applicant requests a rezoning from the existing General Commercial/Retail (C-2) Zoning District to a Planned Development District with an underlying C-2 base zoning district to allow an assisted living/memory care facility (PD 119-2016).

- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
[X] I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: 1) A change of zoning allows the developer to build a hardy board siding fence around the property which is a substandard material. It is incompatible with the neighborhood.
2) A Hardy board siding fence will not improve the look our neighborhood but will cause it to be viewed as a lesser valued neighborhood and could impact property values.

PROPERTY OWNER NAME (print): Jerry & Nelda Moffett
SIGNATURE: [Handwritten signatures]
ADDRESS: 3113 Sunrise Drive Rowlett, TX 75088

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14th of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5th of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Development Service Department by 5 pm on Wednesday, June 8, 2016, for your comments to be included in the Planning and Zoning Commission packet and/or by Wednesday, June 29, 2016, to be included in the City Council packet. All responses received by Wednesday, June 29, 2016, will be forwarded to the Council as well; it is not necessary to respond twice. Responses received after the times noted above shall not be counted in the record of response.

Any owner of property subject to a proposed rezoning or affected by a proposed rezoning may protest the rezoning by filing a written protest (this form is sufficient) with the Director of Development Services within the time specified above. The protest shall object to the zoning map amendment, contain a legal description of the property on behalf of which the protest is made, and be signed by the owner of the property. If protests in the form of opposition are received from property owners within 200 feet of the subject property, and the property owners own a combined minimum of 20 percent or more of the land area, approval by the city council shall only occur with a concurring vote of at least three-fourths of the full membership of the city council.

If you have any questions concerning this request, please contact the Department of Development Services
Phone 972-412-6166
FAX 972-412-6228
glangford@rowlett.com

RETURN BY FAX OR MAIL
City of Rowlett
Development Services
PO Box 99
Rowlett, TX 75030-0099



Department of Development Services

05-08-16A08:31 RCVD

COURTESY NOTICE OF PUBLIC HEARING

TO: Property Owner
RE: Application for a Zoning Change
LOCATION: The subject property is located at 4906 Miller Road further described as being 3.639 +/- acres in the Oliver V Ledbetter Survey, Abstract No. 790, City of Rowlett, Dallas County, Texas. A map is attached for reference.
EXPLANATION OF REQUEST: The applicant requests a rezoning from the existing General Commercial/Retail (C-2) Zoning District to a Planned Development District with an underlying C-2 base zoning district to allow an assisted living/memory care facility (PD 119-2016).

I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

[X] I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: It is much better than having a gas station!
Would rather it stay green space. Street is too small

PROPERTY OWNER NAME (print): RATTI RYE
SIGNATURE: [Signature]
ADDRESS: 5109 Natchez Dr., Rowlett TX 75088
Harborside should buy it. They have the money.

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14th of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5th of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

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Table with 2 columns: Contact information for questions and return-by-fax/mail instructions.



**Department of Development Services**

**NOTICE OF PUBLIC HEARING**

06-08-16A08:31 RCVD

**TO:** Property Owner  
**RE:** Application for a Zoning Change  
**LOCATION:** The subject property is located at 4906 Miller Road further described as being 3.639 +/- acres in the Oliver V Ledbetter Survey, Abstract No. 790, City of Rowlett, Dallas County, Texas. A map is attached for reference. This notice and the notification area are required under Chapter 211.007 of the Texas Local Government Code.  
**EXPLANATION OF REQUEST:** The applicant requests a rezoning from the existing General Commercial/Retail (C-2) Zoning District to a Planned Development District with an underlying C-2 base zoning district to allow an assisted living/memory care facility (PD 119-2016).

- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:** *We already have W. Bush behind our home and its noise enough. Traffic is bad already.*

**PROPERTY OWNER NAME (print):** *CHRISTOPHER & LIND HARRIS*  
**SIGNATURE:** *[Handwritten Signature]*  
**ADDRESS:** *3201 Lafayette Dr, Rowlett, TX 75088*

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14<sup>th</sup> of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5<sup>th</sup> of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

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<p>If you have any questions concerning this request, please contact the Department of Development Services                  Phone 972-412-6166                  FAX 972-412-6228  <a href="mailto:glangford@rowlett.com">glangford@rowlett.com</a></p>	<p><b>RETURN BY FAX OR MAIL</b>                  City of Rowlett                  Development Services                  PO Box 99                  Rowlett, TX 75030-0099</p>
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Department of Development  
Services

## NOTICE OF PUBLIC HEARING

06-08-16A018:31 RCVD

**TO:** Property Owner

**RE:** Application for a Zoning Change

**LOCATION:** The subject property is located at 4906 Miller Road further described as being 3.639 +/- acres in the Oliver V Ledbetter Survey, Abstract No. 790, City of Rowlett, Dallas County, Texas. A map is attached for reference. This notice and the notification area are required under Chapter 211.007 of the Texas Local Government Code.

**EXPLANATION OF REQUEST:** The applicant requests a rezoning from the existing General Commercial/Retail (C-2) Zoning District to a Planned Development District with an underlying C-2 base zoning district to allow an assisted living/memory care facility (PD 119-2016).

- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:** *No Variance. On walls, Only hand laid Brick  
Or Stone Screening walls. City Code should be followed.*

**PROPERTY OWNER NAME**  
(print):

*SUNDER KHULLA*

**SIGNATURE:**

*S. Khulla*

**ADDRESS:** *5106 Gulfport Dr., Rowlett, Tx 75088*

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14<sup>th</sup> of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5<sup>th</sup> of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

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please contact the Department of Development  
Services

Phone 972-412-6166  
FAX 972-412-6228

[glangford@rowlett.com](mailto:glangford@rowlett.com)

**RETURN BY FAX OR MAIL**

City of Rowlett  
Development Services  
PO Box 99  
Rowlett, TX 75030-0099



**Department of Development Services**

**NOTICE OF PUBLIC HEARING**

**TO:** Property Owner  
**RE:** Application for a Zoning Change  
**LOCATION:** The subject property is located at 4906 Miller Road further described as being 3.639 +/- acres in the Oliver V Ledbetter Survey, Abstract No. 790, City of Rowlett, Dallas County, Texas. A map is attached for reference. This notice and the notification area are required under Chapter 211.007 of the Texas Local Government Code.  
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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:** City needs to stay with city standard of Stone or Brick Fences. Wood wears down to quickly

**PROPERTY OWNER NAME (print):** Jeffery R Miller  
**SIGNATURE:** Jeffery R Miller  
**ADDRESS:** 2210 Sunside Dr Rowlett TX 75088

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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:** *The city needs to stay within the standards of stone or brick - no exceptions.*

**PROPERTY OWNER NAME (print):** *Teresa Miller*  
**SIGNATURE:** *Teresa Miller*  
**ADDRESS:** *2210 Sunside Dr. Rowlett, TX 75086*

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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:** 1) No variance allowed on screening walls. City code only hand laid brick or stone screening wall, high quality wall. 2) No Handy board or other siding, brick/stone exteriors.

**PROPERTY OWNER NAME (print):** Alfonso & Araceli Quinonez  
**SIGNATURE:** *Alfonso Quinonez* *Araceli Quinonez*  
**ADDRESS:** 5005 Harborview Blvd. Rowlett 75088

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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:**

*No variance allowed on screening walls per code on the city code of only hand laid brick or stone screening walls - no iron or concrete or wood. Brick/stone exterior*

**PROPERTY OWNER NAME (print):**

*should stay w/ city code  
Virginia Sullivan*

**SIGNATURE:**

*V. Sullivan*

**ADDRESS:** *4905 Harborview Blvd Rowlett TX 75088*

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Department of Development Services

NOTICE OF PUBLIC HEARING

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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:  
 I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:** We are not opposed to the facility proposed, but to any variance from the code which would allow a wooden fence & hardy plank siding for the structure.  
**PROPERTY OWNER NAME (print):** Earl and Rosalind Jeffers  
**SIGNATURE:** Earl R. Jeffers & Rosalind Jeffers  
**ADDRESS:** 2913 Sunrise Dr., Rowlett TX 75088

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Department of Development Services

COURTESY NOTICE OF PUBLIC HEARING

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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:** Boulder plans to use wood fence instead of masonry wall. Also plans to build a shed sell right away. empty Bldg. RISK.....  
**PROPERTY OWNER NAME (print):** Michael Woolams  
**SIGNATURE:**   
**ADDRESS:** 4905 Airport Circle Rowlett, TX 75088

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05-20-13P03:20 REYO



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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: *No variances allowed on screening walls - need Brick walls or stone walls. No variances on exterior walls no hardy board or 3/4*

PROPERTY OWNER NAME

(print):

*IDICULA SAMUEL*

SIGNATURE:

*[Signature]*

ADDRESS:

*5001 HARBORVIEW BLVD*

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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: QUIET NEIGHBORS, ADD TO ROWLETT TAX BASE INCOME

PROPERTY OWNER NAME (print): LINDA H. HARDY
SIGNATURE: [Handwritten Signature]
ADDRESS: 3009 LAFAYETTE DR

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Table with 2 columns: Contact information for questions and return-by-fax/mail address.



Department of Development Services

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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: I do not want this across the street.

PROPERTY OWNER NAME (print): Margaret Johnson  
SIGNATURE: Margaret Johnson  
ADDRESS: 5007 Miller Rd Rowlett Texas 75088

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## Department of Development Services

### NOTICE OF PUBLIC HEARING

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- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:** Please see attached email excerpt given with verbal approval to our ACC admin for submission on this matter, due to traveling.

**PROPERTY OWNER NAME**

(print):

Fred. D. Cowyer

**SIGNATURE:**

Fred D. Cowyer/jr

**ADDRESS:**

2501 Harborview Blvd. Rowlett

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Development Services

PO Box 99

Rowlett, TX 75030-0099

6-10-16P01:35 RCVD

TO: Rowlett Department of Development Services

RE: 4906 Miller Road Application for Zoning Change

If the developer is worrying about the additional cost of constructing the required masonry wall separating his commercial business enterprise from a residential neighborhood, he has even more financial worries to construct and maintain a memory care Assisted Living Center.

Insist that they comply with the City requirements for the commercial grade masonry fence - that will last a lot longer than wood.



Fred D. Cawyer AIA, Architect

ARS - Accessibility Resource Specialists and

CAC - Cawyer & Associates Consulting

RAS-0086

3819 Towne Crossing Blvd.

Suite 111

Mesquite, TX 75150

972.285.2445-Office

214.505.3728-Cell

HARBOR OWNERS ASSOCIATION ARCHITECTURAL CONTROL COMMITTEE

HARBORSIDE RESIDENT

06-10-16P01:35 RCVD



**Department of Development  
Services**

**NOTICE OF PUBLIC HEARING**

**TO:** Property Owner

**RE:** Application for a Zoning Change

**LOCATION:** The subject property is located at 4906 Miller Road further described as being 3.639 +/- acres in the Oliver V Ledbetter Survey, Abstract No. 790, City of Rowlett, Dallas County, Texas. A map is attached for reference. This notice and the notification area are required under Chapter 211.007 of the Texas Local Government Code.

**EXPLANATION OF REQUEST:** The applicant requests a rezoning from the existing General Commercial/Retail (C-2) Zoning District to a Planned Development District with an underlying C-2 base zoning district to allow an assisted living/memory care facility (PD 119-2016).

- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:** *Please see attached email excerpt given with verbal approval to our ACC admin for submission on this matter, due to traveling.*

**PROPERTY OWNER NAME**

(print):

*James E. Spencer*

**SIGNATURE:**

*James E. Spencer/ji*

**ADDRESS:**

*2502 Harborview Blvd. Rowlett*

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If you have any questions concerning this request, please contact the Department of Development Services

Phone 972-412-6166

FAX 972-412-6228

[glangford@rowlett.com](mailto:glangford@rowlett.com)

**RETURN BY FAX OR MAIL**

City of Rowlett

Development Services

PO Box 99

Rowlett, TX 75030-0099

06-10-16P01:35 RCVD

Rowlett Department of Development Services

RE: 4906 Miller Road Zoning Change Application

Actually I think it could be a good neighbor for us. It is low traffic and quiet.

We design these type facilities for a client all over and they are decent neighbors. Would be happy to visit with the developer.

But I would vote against the wood fence as that would be an issue in my opinion. Our clients always put a nice masonry fence in and they work it into their Performa. It is a city standard, and would last longer and look much better.



JAMES E SPENCER AIA NCARB EDAC

PRINCIPAL/COO

DALLAS, TX 214.378.9810 PAWLEYS ISLAND, SC 843.979.2210

WWW.CGA-ARCH.COM JSPENCER@CGA-ARCH.COM

HARBOR OWNERS ASSOCIATION ARCHITECTURAL CONTROL COMMITTEE VOLUNTEER

HARBORSIDE NEIGHBORHOOD RESIDENT

06-10-16P01:35 RCVD



Department of Development Services

COURTESY NOTICE OF PUBLIC HEARING

TO: Property Owner
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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: Please see attached typed, signed letter. Thank you.

PROPERTY OWNER NAME (print): Steven A. Gallobaid, Janelle S. Allen
SIGNATURE: Janelle S. Allen
ADDRESS: 3013 Lafayette Drive, Rowlett

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Table with 2 columns: Contact information for questions and return by fax or mail address.

06-10-16 P01:24 REVU

June 6, 2016

TO: Rowlett Department of Development Services

RE: 4906 Miller Road Application for a Zoning Change

---

We have reviewed the developers packet provided to our HOA Board of Directors. We are in favor of this zoning change and the establishment of the proposed assisted living/memory center with the stipulations that no variances be allowed to lessen the quality of existing City construction requirements beyond the following considerations:

No wood privacy fencing allowed. Yes to stamped, stained slipform concrete fencing in stone and brick fascade. Yes to handlaid brick masonry fencing per current city standard.

Yes to city standards of building material exterior to be brick and stone, with minimal break up in appearance of exterior with use of hardy board siding. Use of hardy board siding be limited to interior facing fascade, and limited to no more than 15% of exterior building fascade.

City has standards for quality construction in Rowlett that should be followed or exceeded by incoming developers. This protects our home and property values and tax base for the city. If developer is worrying about variances to existing Rowlett quality construction standards, he doesn't need to build here. Please maintain the highest quality construction requirements for this project in the best interests of our city community and our neighborhood.

Also, the blueprint shows a potential right of way dedicated lane for the facility entrance/exit. Would the city please consider extending any dedicated entry lane so that the Lafayette Drive could have a dedicated east bound entry as well. Ever since the PGBT and Service Road reconfiguration, our neighborhood entrances have been a challenge and a turn lane assistance even from the one east bound entry only, would be a safety enhancement and a help. Thank you.

Sincerely,



Steve Gallob

Janelle Allen

3013 Lafayette Drive, Rowlett

500 Foot Zone Affected Home

00-10-16P01:35 RCVD



**Department of Development Services**

**NOTICE OF PUBLIC HEARING**

**TO:** Property Owner  
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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:** APPLICANT WANTS CITY RULES & STANDARDS TO BE RELAXED SO HIS PROJECT CAN BE MORE PROFITABLE. GOOD FOR HIM, BAD FOR US.

**PROPERTY OWNER NAME (print):** WILLIAM E. WRIGHT  
**SIGNATURE:** William E Wright (CONTINUED)  
**ADDRESS:** 5202 NATCHEZ DRIVE, ROWLETT, TX 75088

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<p>If you have any questions concerning this request, please contact the Department of Development Services                  Phone 972-412-6166                  FAX 972-412-6228  <a href="mailto:glangford@rowlett.com">glangford@rowlett.com</a></p>	<p><b>RETURN BY FAX OR MAIL</b>                  City of Rowlett                  Development Services                  PO Box 99                  Rowlett, TX 75030-0099</p>

June 6, 2016

Addendum to Notice of Public Hearing Form Re: 4906 Miller Road

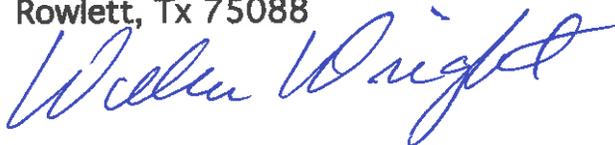
City of Rowlett Development Services

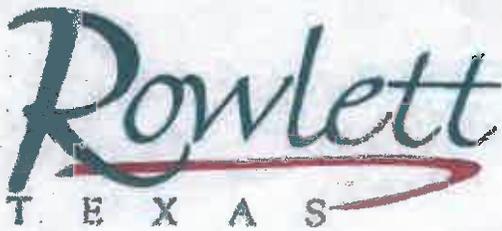
My understanding of the developer's request is that he says he cannot have a profitable project if the city doesn't allow him to materially deviate from city building standards. If this project is so financially wobbly, then maybe he should use the substandard and incompatible materials at some other location.

If his requests are approved, the residents and owners in Harborside will have to suffer a lowering of the standards while he takes his enhanced profits to the bank. He wins, we lose. That does not sound like what one neighbor does to another in good faith to me.

I personally have no objection to the proposed facility except for the variances being requested.

William Wright  
5202 Natchez Drive  
Rowlett, Tx 75088





**Department of Development Services**

**NOTICE OF PUBLIC HEARING**

06-10-16A08:58 RCVD

**TO:** Property Owner  
**RE:** Application for a Zoning Change  
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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:** I WAS IN COMMERCIAL REAL ESTATE FOR OVER 23 YEARS. THE  
DECISION YOU MAKE WILL SET A PRECEDENT FOR THE FUTURE.

**PROPERTY OWNER NAME**  
 (print): \_\_\_\_\_  
**SIGNATURE:** Judith Jo Campbell  
Judith Jo Campbell  
**ADDRESS:** 2810 Harborview Blvd. Rowlett, TX 75088

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Department of Development Services

NOTICE OF PUBLIC HEARING

06-10-16 408:59 RCVD

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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:** I am opposed to the wood fence instead of brick, as well as the use of Hardy Board. City standards should not be reduced

**PROPERTY OWNER NAME (print):** Jill Rully  
**SIGNATURE:** *Jill Rully*  
**ADDRESS:** 3201 Sunrise Dr. Rowlett 75088

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Department of Development Services

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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:**

*The developer wants to change existing rules of zoning for his specific gain. Not acceptable for home owners.*

**PROPERTY OWNER NAME (print):**

*Linda N Brown*

**SIGNATURE:**

*Linda Brown*

**ADDRESS:**

*5101 Watchet Dr Rowlett TX 75088*

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**RETURN BY FAX OR MAIL**

City of Rowlett  
 Development Services  
 PO Box 99  
 Rowlett, TX 75030-0099



Department of Development Services

NOTICE OF PUBLIC HEARING

06-10-16 4:59 PM

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[ ] I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:

[X] I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: City Hall already let our neighborhood down by permitting TX DOT to build a sound barrier wall on the GBTP that wasn't high enough. Dont let us down again. If this developer can't meet existing zoning, have him take his building elsewhere.

PROPERTY OWNER NAME (print): ROGER JENKINS
SIGNATURE: Roger Jenkins
ADDRESS: 5209 Gulfport Dr., Rowlett, TX 75088

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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:** Maximize profits is NOT a valid reason. The citizens of Rowlett do not deserve to be sold short by allowing a new entity to come in and be allowed  
PROPERTY OWNER NAME to cut corners.

**(print):**  
**SIGNATURE:** James Freedland James Freedland  
**ADDRESS:** 2802 HARBORVIEW BLVD ROWLETT TX 75088

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<p>If you have any questions concerning this request, please contact the Department of Development Services                  Phone 972-412-6166                  FAX 972-412-6228  <a href="mailto:langford@rowlett.com">langford@rowlett.com</a></p>	<p><b>RETURN BY FAX OR MAIL</b>                  City of Rowlett                  Development Services                  PO Box 99                  Rowlett, TX 75030-0099</p>
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# City of Rowlett

4000 Main Street  
P.O. Box 99  
Rowlett, TX 75030-0099  
www.rowlett.com

## Staff Report

Planning & Zoning Commission

**AGENDA DATE:** 06/14/2016

**AGENDA ITEM:** C3

**AGENDA LOCATION:**

**Individual Consideration**

**TITLE**

Conduct a public hearing and make a recommendation to City Council on a request for a rezoning from Single Family-10 and Single Family-8 Zoning District to a Planned Development District with an underlying zoning of Single Family 5 (SF-5) for the purpose of constructing a single family neighborhood. The subject property is located at 7900 Chiesa Road further described as being 22.06 +/- acres consisting of all of Tract I in the James Saunders Survey, Abstract No. 1424, and a portion of Lot 1, Block 1, Crossroads Church Addition, City of Rowlett, Dallas County, Texas.

**STAFF REPRESENTATIVE**

Garrett Langford, AICP, Principal Planner

**SUMMARY**

The applicant is requesting to rezone 22.06 +/- acres along Chiesa Road (Attachment 1 – Location Map) from Single Family-10 (SF-10) and Single Family-8 (SF-8) Zoning Districts to a Planned Development (PD) District with an underlying zoning of SF-5. The purpose of this rezoning is to build an 89-lot single-family subdivision (Attachment 2 – Statement of Intent and Purpose).

**BACKGROUND INFORMATION**

The subject property is located along the east side of Chiesa Road and the north side of Travelers Xing. The subject property is bounded by existing subdivisions to the south and east, which are currently zoned SF-10 and SF-8. To the west, is a trailer park and is zoned SF-10. To the north, a piece of property is zoned PD 017-13 that allows a senior assisted living facility which is currently under construction. Listed below is the history of City-initiated zoning changes for the subject property.

ZONING HISTORY	
1980	Zoned R-3
1988	Zoned SF-8/15 (R-3)
1997	Single Family Water Front (SF-W) and Single Family Village 2 (SF-V2)
2006	Single Family 10 (SF-10) and Single Family 8 (SF-8)

To provide historical context, the prior R-3 and SF-8/15 zoning districts required a minimum lot size of 8,000 square feet. The property was rezoned in 1997 as part of the city-wide rezoning to

the SF-W and SF-V2 zoning district which requires a minimum lot size of 10,000 square feet and 8,000 square feet, respectively. The SF-W and SF-V2 were replaced with the SF-10 and SF-8 districts in 2006 with the adoption of the Rowlett Development Code. The SF-10 and the SF-8 district requires a minimum lot size of 10,000 square feet and 8,000 square feet, respectively.

The applicant is requesting a PD with an underlying zoning of SF-5 with modified development standards (Attachment 3 – Development Standards). The modified dimensional standards compared to the RDC standards are listed in the table below. If approved, the proposed development will follow the standard requirements in the RDC except for those requirements specified in the Development Standards and the Concept Plan. The applicant’s Concept Plan proposes a single family subdivision with a minimum lot size of 6,000 square feet (Attachment 4 – Concept Plan). The proposed development will allow front entry homes with garage doors that face the street.

	<b>SF-5</b>	<b>PD Standards</b>
Dwelling Size	1,500 square feet	1,600 square feet
Lot Size	5,000 square feet	6,000 square feet
Lot Width	50 feet	50 feet
Lot Depth	100 feet	120 feet
Front Setback	10 feet	20 feet
Rear Setback	25 feet	20 feet
Side Setback	5 feet	5 feet

The applicants are also proposing modified standards to the landscape buffer and entryway requirements to reflect the small scale of the development. The modified landscaping standards compared to the RDC standards are listed in the table below.

	<b>RDC Standard</b>	<b>PD Standards</b>
Screening along Miller Rd	6 foot masonry wall	6 foot wrought iron fence
Tree requirement along Miller Rd	1 tree per 35 linear feet	1 tree per 35 linear feet
Primary Entryway Landscaping	9,600 square feet	6,800 square feet

The applicants are proposing to connect Danridge Road (Attachment 5 – Danridge Road Connector) which currently dead ends at the south end at Traveler Xing and at the north end at Maple Wood. This portion of Danridge Road is on the City’s Master Thoroughfare Plan classified as a collector street which is a 2-lane undivided street within a 60-ft right-of-way. By completing this required improvement shown on Master Thoroughfare Plan, the applicant will receive credit per City’s Impact Fee ordinance against the City’s Roadway Impact Fees. The assessment of the costs associated with the construction of Danridge Road and determination of the amount of impact fee credits the developer will receive shall be determined in a separate Developer’s

Agreement. Connecting Danridge Road will provide a north and south thoroughfare access between Princeton Road and Chiesa Road.

## **DISCUSSION**

Section 77-805 of the *Rowlett Development Code (RDC)* states that the Planning and Zoning Commission shall consider the following when making their recommendation to the City Council as it pertains to rezoning requests. These criteria are listed below:

1. Whether the proposed rezoning corrects an error or meets the challenge of some changing condition, trend, or fact;

***As evidenced by the applicant's response, the proposed rezoning does not correct an error but does meet the challenge of a changing demand. As was identified in Realize Rowlett 2020, the changing demand is for a different product type that offers quality housing on a smaller lot size.***

2. Whether the proposed rezoning is consistent with the comprehensive plan and the purposes of this code stated in subchapter 77-103, Purpose of this Code;

***This site was originally included in area B-2 "Woodside Living" of the Realize Rowlett 2020 Comprehensive Plan. The vision was for moderate to higher density residential to focus on the goals of providing housing for people at all stages in the life cycle. However, during Phase II of Realize Rowlett 2020 this area was removed from the plan. As such, the guiding principles and existing zoning should inform development. Staff found that the request furthers Guiding Principles #1: Value Existing Neighborhoods and Guiding Principles #3: Make Rowlett a community that is attractive to people at all stages of their lives.***

***The proposed PD will value the existing neighborhood while offering a different product type that will be attractive to people at different stages of their lives. It is staff's opinion that an 89-lot development with 50-ft wide lots is compatible with the existing adjacent single family subdivision to the east and to the north.***

3. Whether the proposed rezoning will protect or enhance the health, safety, morals, or general welfare of the public;

***Staff does not anticipate the proposed rezoning to impact negatively the health, safety, morals, or general welfare of the public. If approved, the proposed development will be required to comply with all applicable development standards in the proposed PD as well those standards in the RDC including drainage, traffic, and utility requirements.***

4. Whether the municipality and other service providers will be able to provide sufficient transportation and utility facilities and services to the subject property, while maintaining sufficient levels of service to existing development;

***The proposed rezoning has been reviewed from the standpoint of providing sufficient transportation access and utilities (e.g., water, sanitary sewer, stormwater drainage). Both water and sewer service are provided by the City; Staff has confirmed that both are available to the site. Prior to the approval of any construction, Staff will ensure adequate capacity for utilities is provided as required by City ordinances.***

***A TIA is required by the RDC when a development will exceed more than 100 vehicles per hour or 1,000 vehicles per day. Based on the Institute for Traffic Engineers (ITE) 9<sup>th</sup> Edition of Trip Generation, an 89-lot single family development will on average generate 89 vehicles exiting or entering the site at peak hours between 4:00 p.m. and 6:00 pm. The expected daily average trips to and/or from the site is 847 vehicles daily. While a TIA will not be required for this development, the design of the street intersections will be required to follow all applicable traffic and engineering standards in the RDC.***

5. Whether the proposed rezoning is likely to have significant adverse impacts on the natural environment, including air, water, noise, stormwater management, wildlife, and vegetation;

***It is unlikely that the proposed rezoning will have significant adverse impacts on the natural environment.***

6. Whether the proposed rezoning will have significant adverse impacts on other property in the vicinity of the subject tract;

***Staff does not anticipate that the proposed rezoning will have significant adverse impacts on other properties in the vicinity including the existing single family subdivisions to the south and to the east. The proposed 89-lot single family development is compatible with the surrounding existing single family subdivisions. The proposed 50-ft wide lots are not out of character with the existing 70-ft or 80-ft wide lots located to the east and to the south of the subject property.***

***The proposed PD includes modified landscape standards for the landscape buffer and entryways that standards will provide for sufficient buffering and landscaping along Chiesa Road.***

7. The suitability of the subject property for the existing zoning classification and proposed zoning classification;

***The existing zoning and the proposed zoning are suited for the subject property. The proposed zoning will allow smaller lot sizes than what is currently allowed under the***

**existing zoning. However, given the proposed open space within the development, the overall gross density of 4 units per acre is similar to the density provided in the adjacent neighborhood. Attachment 7 identifies the units per acre for existing residential subdivisions within the general vicinity.**

8. Whether there is determined to be an excessive proliferation of the use or similar uses;

**As indicated by the applicant, the intent of the development is to provide a smaller lot type that offers less yard maintenance which is not currently available within the immediate vicinity.**

9. Whether the proposed rezoning will ensure that future uses on the subject tract will be compatible in scale with uses on other properties in the vicinity of the subject tract; and;

**The proposed PD will result not result in a gross density that differs from the existing single family lots located in the surrounding area. The proposed PD has a gross density of 4 units per acre. Princeton Park No. 3 located to the east has a density of 4.05 units per acre and The Crossing located to the south has a density of 3.97 units per acre. The open space within proposed development offsets the smaller lot size making the gross density comparable with the surrounding subdivision.**

10. The supply of land in the economically relevant area that is in the use district to be applied by the rezoning or in similar use districts, in relation to the demand for that land.

**The proposed PD will offer a single family product type with smaller lot sizes that offers quality housing without the maintenance associated with larger lot sizes. Realize Rowlett 2020 Plan recognized the growing demand for this type of housing product.**

In conclusion, staff does not expect the proposed PD to have an adverse impact on the adjacent properties. The proposed PD offers an adequate buffer along Chiesa Road that has been appropriately sized for the small scale of the project. The development offers a product type that should be attractive to people looking for quality housing with smaller lot sizes that offer less maintenance associated with larger lot sizes. Additionally, the proposed concept plan has been designed with a usable, central open space that will be fronted by homes on three sides. It is staff's opinion that the proposal satisfies the relevant Guiding Principles from the Realize Rowlett 2020 Comprehensive Plan and meets the criteria listed in the RDC for a rezoning.

## **PUBLIC NOTICE**

Notice of this public hearing was mailed, posted, and published in accordance with State Law and the Rowlett Development Code. On May 27, 2016, a total of 82 notices were mailed to property owners within 200 feet and a total of 120 courtesy notices were mailed to property owners within 500 feet. As of June 10, 2016, none were received in favor of the request and eight notices were returned in opposition. The responses are available in Attachment 7 – Returned Public Notices.

Staff published the Legal Notice in the Dallas Morning News on June 2, 2016, and placed a zoning sign on the subject property on June 3, 2016, in accordance with the Rowlett Development Code.

#### **FISCAL IMPACT/BUDGET IMPLICATIONS**

N/A

#### **RECOMMENDED ACTION**

Staff recommends approval.

#### **ATTACHMENTS**

Attachment 1 – Location Map

Attachment 2 – Statement of Intent and Purpose

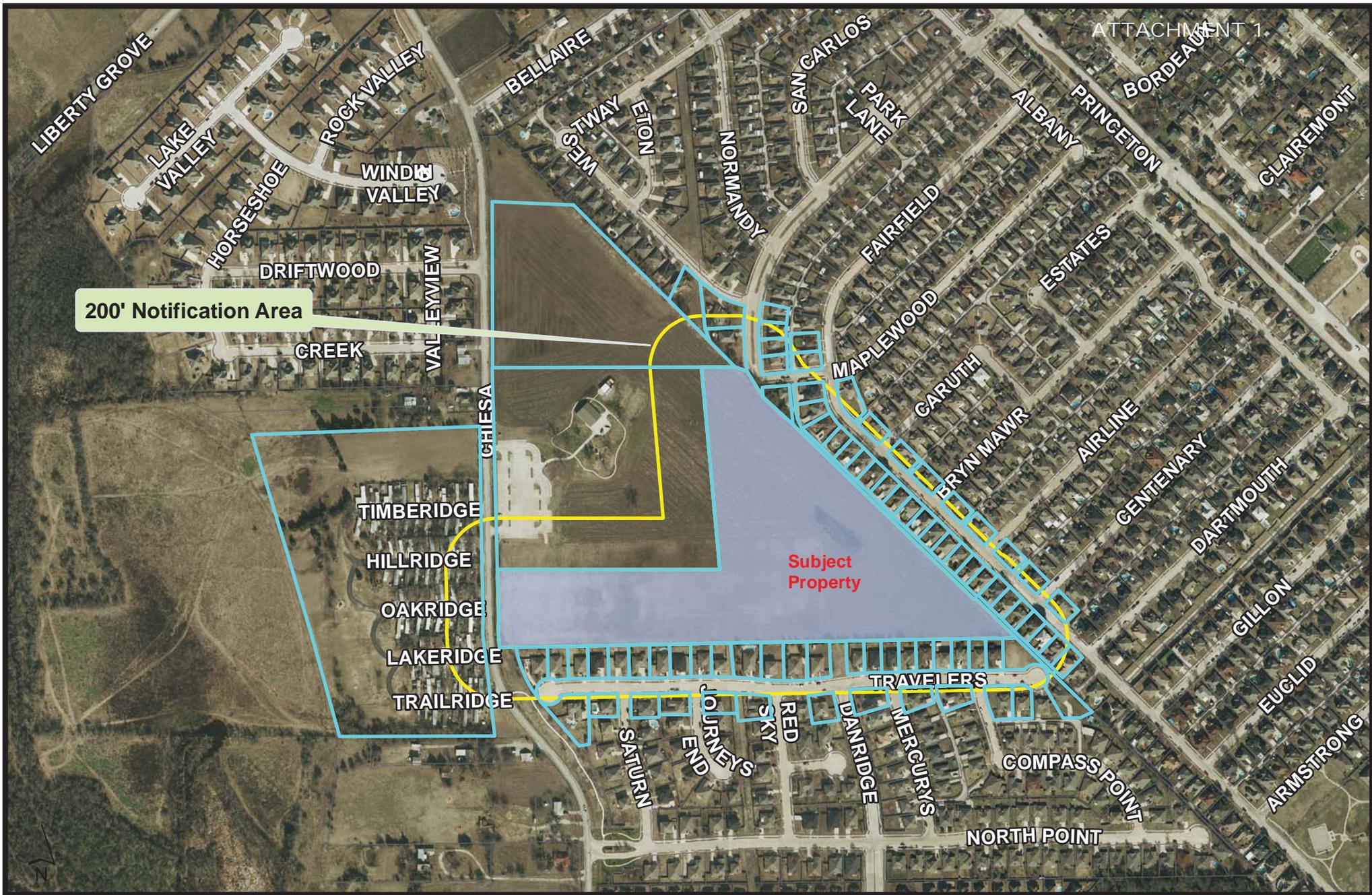
Attachment 3 – Development Standards

Attachment 4 – Concept Plan

Attachment 5 – Danridge Road Connection

Attachment 6 – Surrounding Densities

Attachment 7 – Public Responses



7900 CHIESA RD  
PLANNED DEVELOPMENT  
Map Created: May 26, 2016

200 FT NOTICE LOCATION MAP

**EXHIBIT C**  
**STATEMENT OF INTENT AND PURPOSE**  
**Willow Wood Estates**

Willow Wood Estates is a neighborhood which creates a beautiful, timeless community that upholds and enhances the quality of the surrounding environment. This neighborhood encourages outdoor activities and neighborhood interaction with its centralized greenspace, and connectivity to the City's trail system. This design philosophy brings individuals out of their backyards to enjoy the outdoors together as a community. A portion of the homes will front the centralized common area, which provides residents a scenic view and an opportunity to leave their fenced back yards to meet their neighbors.

This community strives to be a shining example of what Rowlett has to offer. With nearby access to Chiesa Road and Liberty Grove Road, this property lends its residents easy access to the conveniences of suburban life. In regards to Willow Wood Estates' regional context, the neighborhood's residents have convenient access to President George Bush Turnpike, the new CityLine (State Farm) corporate center, and local retail business and retail centers like Wal-Mart, Home Depot, and Super Target nearby. Residents will also enjoy the numerous current and future City Parks nearby such as Muddy Creek Park, Sunset Park, the Environmental Learning Center, and the new Bayside lagoon project.

The potential residential density for this development ranges from 4.0 to 4.2 units per acre.

Section 77-805.C. of the Rowlett Development Code (RDC) indicates that recommendations and decisions on rezoning shall be based on consideration of the following criteria:

1. Whether the proposed rezoning corrects an error or meets the challenge of some changing condition, trend, or fact.

The requested rezoning does not correct any errors with respect to zoning.

The request meets the changing environment recognized in the Realize Rowlett 2020 Plan. In the "Framework for the Future" section of the Plan, it clearly states, "In 2020, Rowlett will be a community with diverse lifestyle choices for living, working, playing, and learning. ...additional housing choices will be available for individuals and families that desire homes needing lower maintenance. Young professionals will be attracted to low maintenance, dense housing found in urban or mixed-use neighborhoods." Additionally, the Plan recognizes that, "Rowlett's future as an employment center will blossom", when a number of actions take place, including, "its housing inventory expands and diversifies." Willow Wood Estates will meet the needs and desires of a more diversified Rowlett resident.

2. Whether the proposed rezoning is consistent with the comprehensive plan and the purpose of this Code stated in subchapter 77-103, Purpose of this Code.

The proposal is consistent with the Guiding Principles outlined in the Realize Rowlett 2020 Plan. While this area is not one of the strategic opportunity areas detailed in the plan, the plan anticipates areas of Rowlett outside those areas will also experience development over time. When they do, the development should work within the framework of the Plan's Guiding Principles; two of the key ones being Principle 1: Value Existing Neighborhoods, and Principle 3: Make Rowlett a Community that is Attractive to People at all Stages of Their Lives.

The Plan recognizes that in order to protect the Realize Rowlett 2020 vision, "Actions for Change" need to be implemented. For redevelopment of residential areas and/or new development on greenfields in mature residential areas, Action 3 is probably the most important. This Action states, "...and include language related to the efficient delivery of redeveloped properties and projects that advance the principles of Smart Growth and traditional neighborhood development." Willow Wood Estates neighborhood is planned with those principles.

3. Whether the proposed rezoning will protect or enhance the health, safety, morals, or general welfare of the public.

The proposed Willow Wood Estates neighborhood does protect the public by:

- i) Fostering convenient, compatible, and efficient relationships among land uses;
- ii) Promoting a healthful and convenient distribution of population;
- iii) Ensures greater public safety, convenience, and accessibility through physical design;
- iv) Encourages the efficient use of the available land supply in the city;
- v) Preserves the character and quality of residential neighborhoods;
- vi) Promotes a balanced, diverse supply of affordable, quality housing in safe and livable neighborhoods;
- vii) Ensures the provision of adequate sized yards, open spaces for light, air, and fire safety;
- viii) Encourages development of a sustainable and accessible system of recreational facilities, and open space that meets year-round neighborhood and community wide needs;
- ix) Facilitates the adequate and safe provision of transportation, water, sewage, drainage, and other public facilities; and
- x) Ensures the service demands of new development will not exceed the capabilities of existing streets, utilities, or other public facilities and services.

4. Whether the municipality and other service providers will be able to provide sufficient transportation and utility facilities and services to the subject property, while maintaining sufficient levels of service to existing development.

Willow Wood Estates neighborhood's needs for water can be provided without negatively impacting adjacent properties. Willow Wood Estates neighborhood's needs for sewer services can also be met without negatively impacting adjacent properties. Additionally, the traffic generated by Willow Wood Estates residents will not negatively impact the city's street system.

5. Whether the proposed rezoning is likely to have significant adverse impacts on the natural environment, including air, water, noise, stormwater management, wildlife, and vegetation.

Willow Wood Estates neighborhood will not have adverse impacts on the natural environment. Activities within the neighborhood will adhere to all of the city's performance standards with respect to air, water, and noise. The city's stormwater management standards will be followed, as they are with all new development in the city. Willow Wood Estates' layout was designed to preserve as much natural vegetation as possible, leaving existing trees and vegetation in the common areas.

6. Whether the proposed rezoning will have significant adverse impacts on other property in the vicinity of the subject tract.

The proposed rezoning will not have significant adverse impacts on other property in the vicinity. The proposed rezoning will closely relate to the adjacent single family neighborhoods, and the new housing stock with their projected price points will benefit the surrounding properties.

7. The suitability of the subject property for the existing zoning classification and proposed zoning classification.

The property is currently zoned SF-8 and SF-10 with a lot area minimum of 8,000 and 10,000 square feet respectively. This property is not suitable for the current zoning category, due to its infill nature, existing gas line and future thoroughfare road bisecting the property, which constrain the property. These inherent constraints inhibit the configuration and ultimate efficiency of the property, which is why a smaller lot size is necessary. The proposed zoning allows for a higher density than the current zoning category. This higher density creates a transitional buffer between the high-intensity uses of the adjacent religious facility and senior living facility and the currently existing subdivisions (Princeton Park and The Crossroads).

This rezoning will also allow for the creation and maximization of a high-quality open space that will enhance and protect the value of the neighborhood for years to come. A suburban style of single family development deemphasizes the focus on the fenced back yard where every resident is isolated from their neighbor. Social interaction is very important for homeowners in this style of neighborhood. A focus is placed on the common areas in a neighborhood where that social interaction can take place on a daily basis. With that in mind, Willow Wood Estates neighborhood will provide a centralized, usable open space for the benefit of the entire neighborhood. This will not only provide ample opportunity for interaction between neighbors, but will also create a more appealing atmosphere to the neighborhood.

The property is well suited for a suburban, infill single family neighborhood. As the Realize Rowlett 2020 Plan indicates, “The community will support diverse choices—in housing types, neighborhood character and land use patterns—so that people at all stages of their lives can find options here that meets their needs”. This is an opportunity to diversify Rowlett’s housing stock with high-quality homes, making Rowlett a full Life Cycle community.

8. Whether there is determined to be an excessive proliferation of the use or similar uses.

Princeton Park, which is immediately northeast of Willow Wood Estates, was zoned and preliminary platted in 1986. Lot areas range from +/- 7,200 to 8,000 square feet. Directly south of Willow Wood Estates is The Crossroads, which was zoned and platted in 2001 for 8,000 to 10,000 square foot lot areas. Directly west of the site is Chiesa Estates Mobile Home Park.

In this vicinity, there is a deficiency of smaller high-quality homes, which allow for less yard maintenance and right-sized homes for aging “baby boomers” who want to stay in Rowlett and young professionals who are drawn toward a more suburban lifestyle with convenient access to President George Bush Tollway. Willow Wood Estates is intended to meet the demand for this underserved product type. There is currently a dearth of this housing type in Rowlett, and it is a housing product Realize Rowlett 2020 desires to grow in the future.

9. Whether the proposed rezoning will ensure that future uses on the subject tract will be compatible in scale with uses on other properties in the vicinity of the subject tract.

The requested rezoning is compatible in scale with uses on other properties in the vicinity. There is significant single family development surrounding the site. The proposed rezoning creates a transitional zoning or buffer from the high-intensity use of a religious facility and senior living facility from the existing housing of the older neighborhoods.

10. The supply of land in the economically relevant area that is in the use district to be applied by the rezoning or in similar use districts, in relation to the demand for that land.

The area surrounding Willow Wood Estates neighborhood is predominantly developed with suburban style for single family neighborhoods.

As identified in the Realize Rowlett 2020 plan however, “Though surrounded by attractive suburban alternatives, Rowlett is poised to compete for residential expansion, largely due to future transit improvements... demand for residential product types will continue to grow significantly over the next decade (over 21,000 units in the Trade Area) ...”

The Plan indicates there is ample demand for this type of residential product in this general area of the city.

**EXHIBIT D**  
**Willow Wood Estates**  
**PLANNED DEVELOPMENT STANDARDS**

General Standards

1. Development shall take place in general accordance with the attached Zoning Exhibit (Exhibit E).
2. The maximum number of homes in Willow Wood Estates neighborhood shall be 89.
3. A minimum of 8% of the land within Willow Wood Estates neighborhood shall be used as open space. The open space, as generally shown on Exhibit E, shall be recognized as meeting all of the City of Rowlett's acreage requirements for public and/or private open space for Willow Wood Estates neighborhood.
4. All open space and common area shall be owned and maintained by the Homeowners Association.

Dimensional Standards

Development shall take place in accordance with the SF-5 Single Family Residential District as outlined in the City of Rowlett Development Code as it exists or may be amended, except as indicated below.

1. The minimum lot area is 6,000 square feet.
2. The minimum lot width shall be 50' at the building line. On cul-de-sacs and/or elbows, the minimum lot width at the street ROW shall be 35'.
3. The minimum lot depth is 120'. On cul-de-sacs and/or elbows, the minimum lot depth shall be 105'.
4. The minimum front yard setback shall be 20'.
5. The minimum side yard setback shall be 5', the minimum side yard setback on a corner lot adjacent to a street shall be 10'.
6. The minimum rear yard setback shall be 20'.
7. The maximum lot coverage shall be 75%.
8. The minimum dwelling area shall be 1,600 square feet.
9. The maximum height shall be 2.5 stories or 36' for the main building.

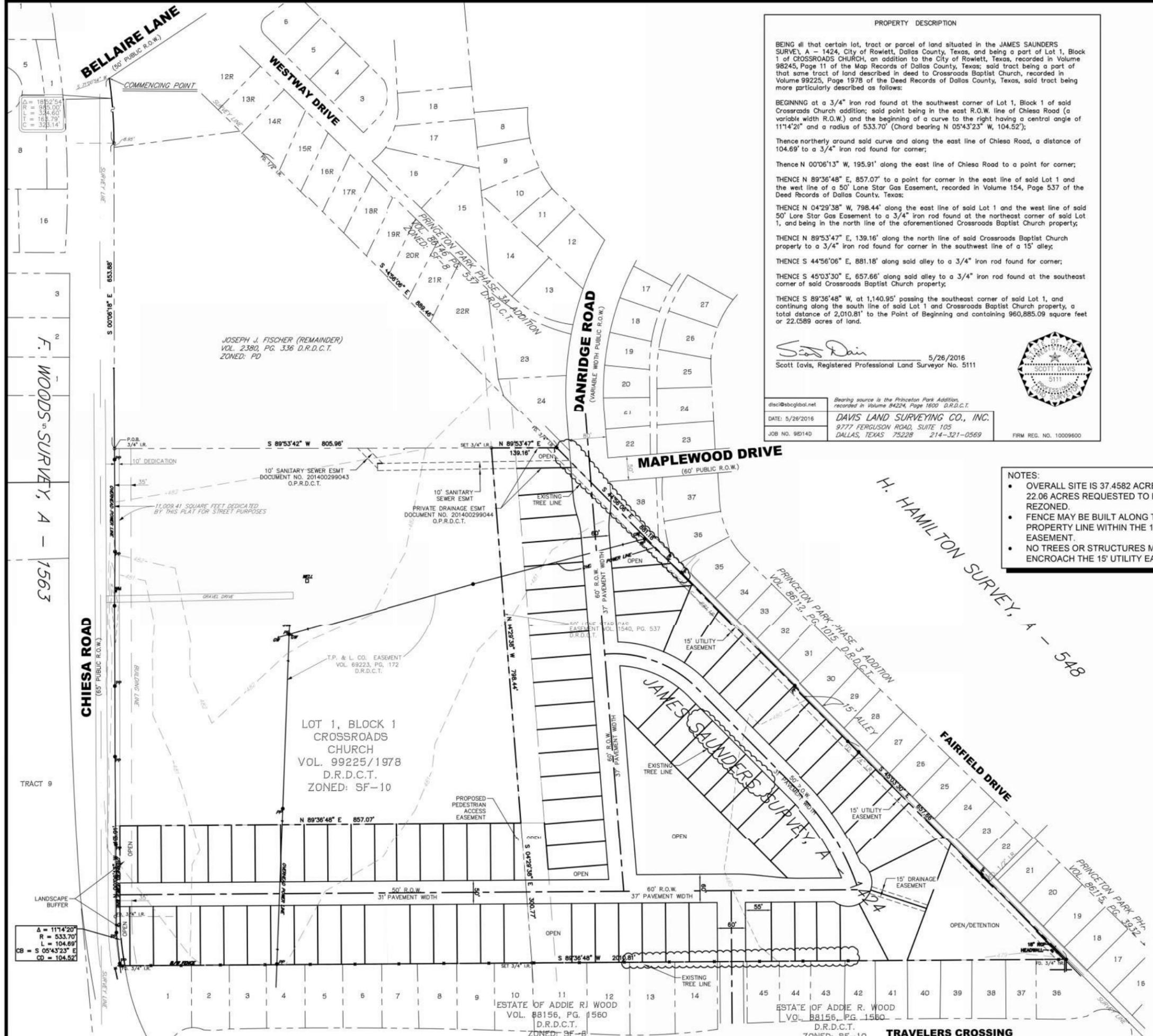
Setback Type	Minimum Distance in Feet
Front Setback	20'
Rear Setback	20'
Sideyard Setback	5'
Sideyard Setback Adjacent to Street	10'
Sideyard Setback for Key Lot	10'
Garage Setback	20'

### Neighborhood Standards

1. Neighborhood buffer yards, entryway treatments, and landscaping shall be designed, developed, and maintained in accordance with the standards established in the Rowlett Development Code with the following exceptions:
  - The minimum landscape entryway requirement for the primary entrance shall be 6,800 square feet, with a minimum of 4500 square feet on the northern side of the street and a minimum of 2,000 square feet on the south side of the street.
  - A masonry and/or stone entry statement at least 6' tall shall be placed at the western entrance. A masonry wall along Chiesa Road will not be required. A six foot ornamental (tubular steel fence) shall screen the subdivision from Chiesa Road. Approved plants, trees, grass and other approved vegetation shall be placed in front of or behind the fence line to effectively screen the development and enhance the landscape buffer.
  - Any secondary entryway connecting to other subdivisions shall not require any landscaping.
  - Xeriscape lots will be allowed along the sideyards of lots.
2. Unless otherwise shown on Exhibit E, streets within Willow Wood Estates neighborhood shall be designated as "Minor Residential Streets" and have a right-of-way width of 50' and a pavement width of 31' back to back. Danridge Road shall taper to a 60' ROW undivided minor collector street with 37' of paving (back to back).
3. ROW dedication (if any) shall be 32.5 feet from the centerline of Chiesa Road.
4. Danridge Road (as depicted on Exhibit "G") will meet the City's standard for a minor collector street, and therefore will be eligible for CIP Credit Reimbursements in accordance with Section 30-44 of the RDC. The assessment of the costs associated with the construction of Danridge Road and determination of the amount of impact fee credits the developer will receive shall be determined in a separate Developers Agreement.

### Architectural Standards

1. All homes within the Willow Wood Estates neighborhood shall comply with the Residential Building Standards established in the Rowlett Development Code with the following exception: If a gable roof extends over an unenclosed porch, the gable face may be constructed of hardy-plank or similar cementitious material.
2. A hip roof which faces the street and which comprises greater than 35% of the total width of a house's façade shall be broken up with dormers or other architecturally compatible appurtenances.
3. Minimum of 8:12 front elevation roof pitch, except 4:12 roof pitches on porches. Dimensional shingles shall be used.
4. A minimum 4' wide, dedicated walk separate from a driveway, shall provide a connection between the house and the city sidewalk.



PROPERTY DESCRIPTION

BEING all that certain lot, tract or parcel of land situated in the JAMES SAUNDERS SURVEY, A - 1424, City of Rowlett, Dallas County, Texas, and being a part of Lot 1, Block 1 of CROSSROADS CHURCH, an addition to the City of Rowlett, Texas, recorded in Volume 98245, Page 11 of the Map Records of Dallas County, Texas; said tract being a part of that same tract of land described in deed to Crossroads Baptist Church, recorded in Volume 99225, Page 1978 of the Deed Records of Dallas County, Texas, said tract being more particularly described as follows:

BEGINNING at a 3/4" iron rod found at the southwest corner of Lot 1, Block 1 of said Crossroads Church addition; said point being in the east R.O.W. line of Chiesia Road (a variable width R.O.W.) and the beginning of a curve to the right having a central angle of 111°42' and a radius of 533.70' (Chord bearing N 05°43'23" W, 104.52');

Thence northerly around said curve and along the east line of Chiesia Road, a distance of 104.69' to a 3/4" iron rod found for corner;

Thence N 00°06'13" W, 195.91' along the east line of Chiesia Road to a point for corner;

THENCE N 89°36'48" E, 857.07' to a point for corner in the east line of said Lot 1 and the west line of a 50' Lone Star Gas Easement, recorded in Volume 154, Page 537 of the Deed Records of Dallas County, Texas;

THENCE N 04°29'38" W, 798.44' along the east line of said Lot 1 and the west line of said 50' Lone Star Gas Easement to a 3/4" iron rod found at the northeast corner of said Lot 1, and being in the north line of the aforementioned Crossroads Baptist Church property;

THENCE N 89°53'47" E, 139.16' along the north line of said Crossroads Baptist Church property to a 3/4" iron rod found for corner in the southwest line of a 15' alley;

THENCE S 44°56'06" E, 881.18' along said alley to a 3/4" iron rod found for corner;

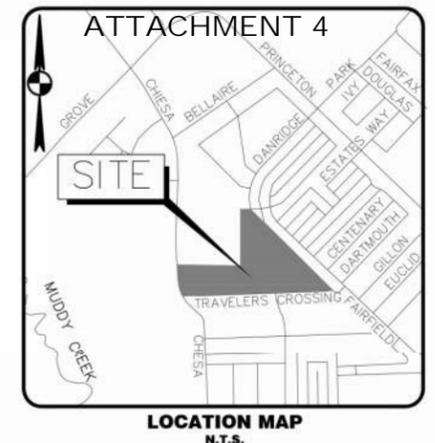
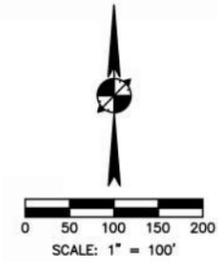
THENCE S 45°03'30" E, 657.66' along said alley to a 3/4" iron rod found at the southeast corner of said Crossroads Baptist Church property;

THENCE S 89°36'48" W, at 1,140.95' passing the southeast corner of said Lot 1, and continuing along the south line of said Lot 1 and Crossroads Baptist Church property, a total distance of 2,010.81' to the Point of Beginning and containing 960,885.09 square feet or 22.0589 acres of land.

Scott Davis  
5/26/2016  
Scott Davis, Registered Professional Land Surveyor No. 5111

Seal: SCOTT DAVIS, 5111, TEXAS SURVEYORS ASSOCIATION

disc@scglbal.net Bearing source is the Princeton Park Addition, recorded in Volume 94224, Page 1600 D.R.D.C.T.  
DATE: 5/26/2016 DAVIS LAND SURVEYING CO., INC. 9777 FERGUSON ROAD, SUITE 105 DALLAS, TEXAS 75228 214-321-0569 FIRM REG. NO. 10009600  
JOB NO. 98140



PROJECT SITE DATA:

- GENERAL
- CASE NUMBER: TBD
  - NAME OF PROJECT/ DEVELOPMENT: WILLOW WOOD ESTATES
  - PROPOSED USE: PD-RESIDENTIAL (SF-5)
  - FUTURE LAND USE DESIGNATION: DT/MV, RW, RV
  - PROPOSED FUTURE LAND USE DESIGNATION: PD-RESIDENTIAL (SF-5)
  - EXISTING ZONING DISTRICT: SF-8, SF-10
  - PROPOSED ZONING DISTRICT: PD-RESIDENTIAL (SF-5)
  - APPLICABLE OVERLAYS: PD
  - APPRAISAL DISTRICT ACCOUNT NUMBERS AND COUNTY: DALLAS COUNTY
  - ACCT# 46512403510010000
  - ACCT# 44401180010010000
- OVERALL SITE
- GROSS SITE AREA: +/- 22.06 AC
  - SITE FRONTAGE: 300 FT
  - SITE WIDTH: 1097 FT
  - SITE DEPTH: 2021 FT
  - IMPERVIOUS SURFACE AREA: 0.0 AC
  - PERVIOUS SURFACE AREA: 22.06 AC
  - ACCESSORY USE: N/A
  - OPEN SPACE: 3.10 AC (14.1%)
  - DETENTION/RETENTION: 0.96 AC (4.4%)
  - RECREATION: N/A
  - PRESERVE: N/A
  - CIVIC: N/A
  - OTHER: N/A

HOUSING	TOTAL
TOTAL GROSS DENSITY (DU/AC)	4.0
LOT COUNT BY TYPICAL LOT SIZE	89
TOTAL NUMBER OF DWELLING UNITS	89

- NOTES:
- OVERALL SITE IS 37.4582 ACRES WITH 22.06 ACRES REQUESTED TO BE REZONED.
  - FENCE MAY BE BUILT ALONG THE PROPERTY LINE WITHIN THE 15' UTILITY EASEMENT.
  - NO TREES OR STRUCTURES MAY ENCROACH THE 15' UTILITY EASEMENT.

PROPERTY DEVELOPMENT REGULATIONS	REQUIRED	PROVIDED
MAXIMUM LOT COVERAGE	75%	75%
MINIMUM LOT AREA	5000	6000
MINIMUM LOT WIDTH	50	50
MINIMUM LOT DEPTH	100	115
SETBACKS:		
FRONT SETBACK	10	20
SIDE INTERIOR SETBACK	5	5
SIDE STREET SETBACK	10	10
REAR SETBACK	25	20
MAX STRUCTURE HEIGHT	36 FT OR 2.5 STORIES	
MAX NO. STORIES/FLOORS	36 FT OR 2.5 STORIES	

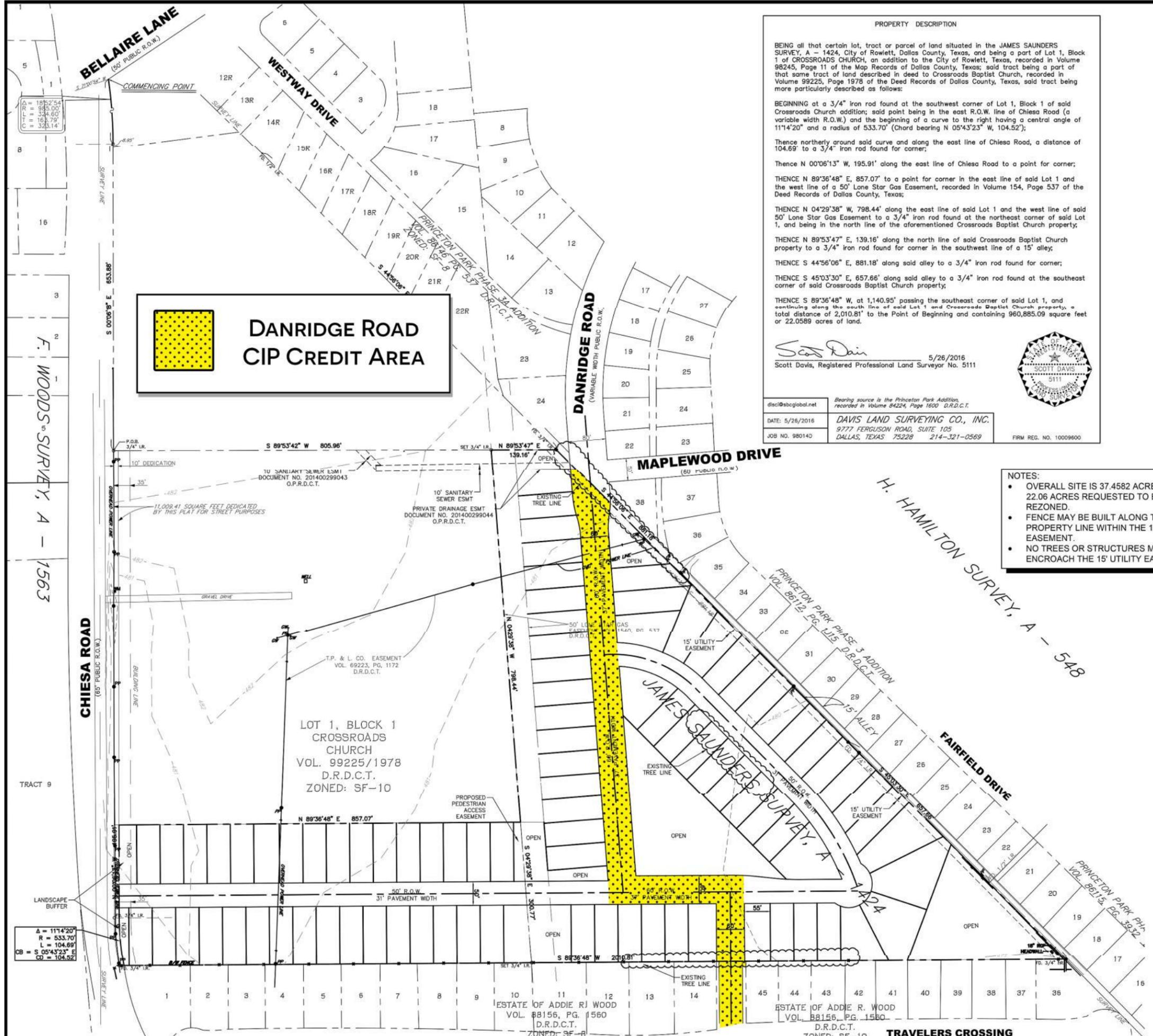
- NOTES:
- THE DEVELOPMENT OF THE SITE WILL BE IN ACCORDANCE WITH CITY OF ROWLETT DEVELOPMENT STANDARDS.
  - THE ZONING CONCEPT PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY AND SUBJECT TO CHANGE. THIS ZONING CONCEPT PLAN, ALONG WITH DEVELOPMENT REGULATIONS, IS INTENDED TO DESCRIBE THE INTENT OF THE PLANNED DEVELOPMENT. SIGNIFICANT DEVIATIONS FROM THIS ZONING CONCEPT PLAN AND, AS NECESSARY, THE DEVELOPMENT REGULATIONS.
  - DEVIATIONS FROM CURRENT DEVELOPMENT STANDARDS/REGULATIONS NOT SPECIFICALLY ADDRESSED/LISTED FOR APPROVAL AS PART OF PLANNED DEVELOPMENT REGULATIONS MAY REQUIRE A HEARING/APPROVAL BY THE BOARD OF ADJUSTMENT (BOA).
  - ALL CURRENT DEVELOPMENT REQUIREMENTS OF THE CITY AS AMENDED SHALL BE MET UNLESS APPROVED OTHERWISE WITHIN THESE PLANNED DEVELOPMENT ZONING DISTRICT REGULATIONS.
  - NO 100-YEAR FLOODPLAIN EXISTS ON THE SITE ACCORDING TO FEMA MAP #4813C0245K DATED JULY 7, 2014.
  - THOROUGHFARE ALIGNMENT(S) SHOWN ON THE EXHIBIT ARE FOR ILLUSTRATION PURPOSES AND DOES NOT SET THE ALIGNMENT. THE ALIGNMENT IS DETERMINED AT TIME OF FINAL PLAT.

CIVIL ENGINEER/PREPARER:  
BURY-DW, INC.  
5310 HARVEST HILL ROAD,  
SUITE 100  
DALLAS, TEXAS 75230  
PHONE: (972) 991-0011  
CONTACT: KYLON M. WILSON P.E.  
TBP# F-1048

OWNER:  
CROSSROADS BAPTIST CHURCH  
PO BOX 1018  
ROWLETT, TEXAS 75030

APPLICANT:  
SKORBURG COMPANY  
8214 WESTCHESTER  
SUITE 710  
DALLAS, TEXAS 75225  
PHONE: (214) 888-8855  
CONTACT: SEAN LINGENFELTER

**EXHIBIT E**  
**ZONING CONCEPT PLAN**  
**PD115-2016**  
**WILLOW WOOD ESTATES**  
**TRACT II AND A PORTION OF**  
**LOT 1, BLOCK 1 - CROSSROADS CHURCH**  
**2206 ACRES SITUATED IN THE**  
**JAMES SAUNDERS SURVEY, ABSTRACT 1424**  
**CITY OF ROWLETT**  
**DALLAS COUNTY, TEXAS**  
**JUNE 8, 2016**



PROPERTY DESCRIPTION

BEING all that certain lot, tract or parcel of land situated in the JAMES SAUNDERS SURVEY, A - 1424, City of Rowlett, Dallas County, Texas, and being a part of Lot 1, Block 1 of CROSSROADS CHURCH, an addition to the City of Rowlett, Texas, recorded in Volume 98245, Page 11 of the Map Records of Dallas County, Texas; said tract being a part of that same tract of land described in deed to Crossroads Baptist Church, recorded in Volume 99225, Page 1978 of the Deed Records of Dallas County, Texas, said tract being more particularly described as follows:

BEGINNING at a 3/4" iron rod found at the southwest corner of Lot 1, Block 1 of said Crossroads Church addition; said point being in the east R.O.W. line of Chiesa Road (a variable width R.O.W.) and the beginning of a curve to the right having a central angle of 111°4'20" and a radius of 533.70' (Chord bearing N 05°43'23" W, 104.69');

THENCE northerly ground said curve and along the east line of Chiesa Road, a distance of 104.69' to a 3/4" iron rod found for corner;

THENCE N 00°06'13" W, 195.91' along the east line of Chiesa Road to a point for corner;

THENCE N 89°36'48" E, 857.07' to a point for corner in the east line of said Lot 1 and the west line of a 50' Lane Star Gas Easement, recorded in Volume 154, Page 537 of the Deed Records of Dallas County, Texas;

THENCE N 04°29'38" W, 798.44' along the east line of said Lot 1 and the west line of said 50' Lane Star Gas Easement to a 3/4" iron rod found at the northeast corner of said Lot 1, and being in the north line of the aforementioned Crossroads Baptist Church property;

THENCE N 89°53'47" E, 139.16' along the north line of said Crossroads Baptist Church property to a 3/4" iron rod found for corner in the southwest line of a 15' alley;

THENCE S 44°56'06" E, 881.18' along said alley to a 3/4" iron rod found for corner;

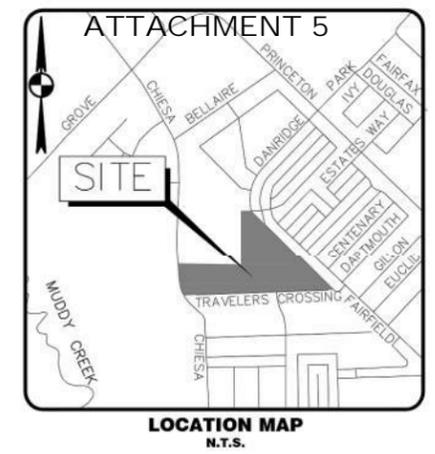
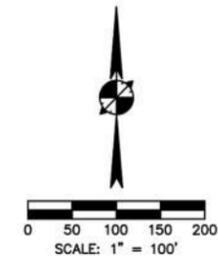
THENCE S 45°03'30" E, 657.66' along said alley to a 3/4" iron rod found at the southeast corner of said Crossroads Baptist Church property;

THENCE S 89°36'48" W, at 1,140.95' passing the southeast corner of said Lot 1, and continuing along the south line of said Lot 1 and Crossroads Baptist Church property, a total distance of 2,010.81' to the Point of Beginning and containing 960,885.09 square feet or 22.0589 acres of land.

Scott Davis  
5/26/2016  
Scott Davis, Registered Professional Land Surveyor No. 5111

Seal: SCOTT DAVIS, 5111, DALLAS COUNTY, TEXAS

disc@sbcbglobal.net Bearing source is the Princeton Park Addition, recorded in Volume 94224, Page 1600 D.R.D.C.T.  
DATE: 5/26/2016 DAVIS LAND SURVEYING CO., INC. 9777 FERGLISON ROAD, SUITE 105 DALLAS, TEXAS 75228 214-321-0569 FIRM REG. NO. 10009600  
JOB NO. 980140



PROJECT SITE DATA:

- GENERAL
- CASE NUMBER: TBD
  - NAME OF PROJECT/ DEVELOPMENT: WILLOW WOOD ESTATES
  - PROPOSED USE: PD-RESIDENTIAL (SF-5)
  - FUTURE LAND USE DESIGNATION: DT/MV, RW, RV
  - PROPOSED FUTURE LAND USE DESIGNATION: PD-RESIDENTIAL (SF-5)
  - EXISTING ZONING DISTRICT: SF-8, SF-10
  - PROPOSED ZONING DISTRICT: PD-RESIDENTIAL (SF-5)
  - APPLICABLE OVERLAYS: PD
  - COUNTY: DALLAS
  - APPRaisal DISTRICT ACCOUNT NUMBERS AND COUNTY: DALLAS COUNTY
    - #46142403510010000
    - #44001180010010000
- OVERALL SITE
- GROSS SITE AREA: +/- 22.06 AC
  - SITE FRONTAGE: 300 FT
  - SITE WIDTH: 1097 FT
  - SITE DEPTH: 2021 FT
  - IMPERVIOUS SURFACE AREA: 0.0 AC
  - PERVIOUS SURFACE AREA: 22.06 AC
  - ACCESSORY USE: N/A
  - OPEN SPACE: 3.10 AC (14.1%)
  - DETENTION/RETENTION: 0.96 AC (4.4%)
  - RECREATION: N/A
  - PRESERVE: N/A
  - CIVIC: N/A
  - OTHER: N/A

HOUSING	TOTAL
TOTAL GROSS DENSITY (DU/AC)	4.0
LOT COUNT BY TYPICAL LOT SIZE	89
TOTAL NUMBER OF DWELLING UNITS	89

- NOTES:
- OVERALL SITE IS 37.4582 ACRES WITH 22.06 ACRES REQUESTED TO BE REZONED.
  - FENCE MAY BE BUILT ALONG THE PROPERTY LINE WITHIN THE 15' UTILITY EASEMENT.
  - NO TREES OR STRUCTURES MAY ENCRoACH THE 15' UTILITY EASEMENT.

PROPERTY DEVELOPMENT REGULATIONS	REQUIRED	PROVIDED
MAXIMUM LOT COVERAGE	75%	75%
MINIMUM LOT AREA	5000	5500
MINIMUM LOT WIDTH	50	50
MINIMUM LOT DEPTH	100	115
SETBACKS:		
FRONT SETBACK	10	20
SIDE INTERIOR SETBACK	5	5
SIDE STREET SETBACK	10	10
REAR SETBACK	25	20
MAX STRUCTURE HEIGHT	35 FT OR 2.5 STORIES	
MAX NO. STORIES/FLOORS	35 FT OR 2.5 STORIES	

- NOTES:
- THE DEVELOPMENT OF THE SITE WILL BE IN ACCORDANCE WITH CITY OF ROWLETT DEVELOPMENT STANDARDS.
  - THE ZONING CONCEPT PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY AND SUBJECT TO CHANGE. THIS ZONING CONCEPT PLAN, ALONG WITH DEVELOPMENT REGULATIONS, IS INTENDED TO DESCRIBE THE INTENT OF THE PLANNED DEVELOPMENT. SIGNIFICANT DEVIATIONS FROM THIS ZONING CONCEPT PLAN AND, AS NECESSARY, THE DEVELOPMENT REGULATIONS.
  - DEVIATIONS FROM CURRENT DEVELOPMENT STANDARDS/REGULATIONS NOT SPECIFICALLY ADDRESSED/LISTED FOR APPROVAL AS PART OF PLANNED DEVELOPMENT REGULATIONS MAY REQUIRE A HEARING/APPROVAL BY THE BOARD OF ADJUSTMENT (BOA).
  - ALL CURRENT DEVELOPMENT REQUIREMENTS OF THE CITY AS AMENDED SHALL BE MET UNLESS APPROVED OTHERWISE WITHIN THESE PLANNED DEVELOPMENT ZONING DISTRICT REGULATIONS.
  - NO 100-YEAR FLOODPLAIN EXISTS ON THE SITE, ACCORDING TO FEMA MAP #4813C0245K DATED JULY 7, 2014.
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CIVIL ENGINEER/PREPARER:  
BURY-DW, INC.  
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SUITE 100  
DALLAS, TEXAS 75230  
PHONE: (972) 991-0011  
CONTACT: KYLON M. WILSON P.E.  
TBPE# F-1048

OWNER:  
CROSSROADS BAPTIST CHURCH  
PO BOX 1018  
ROWLETT, TEXAS 75080

APPLICANT:  
SKORBURG COMPANY  
8214 WESTCHESTER  
SUITE 710  
DALLAS, TEXAS 75225  
PHONE: (214) 888-8855  
CONTACT: SEAN LINGENFELTER

**EXHIBIT G**  
DANRIDGE ROAD CIP CREDIT EXHIBIT  
PD15-2016  
WILLOW WOOD ESTATES  
TRACT II AND A PORTION OF  
LOT 1, BLOCK 1 - CROSSROADS CHURCH  
2206 ACRES SITUATED IN THE  
JAMES SAUNDERS SURVEY, ABSTRACT 1424  
CITY OF ROWLETT  
DALLAS COUNTY, TEXAS  
JUNE 8, 2016





Department of Development Services

NOTICE OF PUBLIC HEARING

TO: Property Owner
RE: Application for a Zoning Change
LOCATION: The subject property is located at 7900 Chiesa Road further described as being 26.06 +/- acres consisting of all of Tract I in the James Saunders Survey, Abstract No. 1424, and a portion of Lot 1, Block 1, Crossroads Church Addition, City of Rowlett, Dallas County, Texas. A map is attached for reference. This notice and the notification area are required under Chapter 211.007 of the Texas Local Government Code.
EXPLANATION OF REQUEST: The applicant requests a rezoning from the existing Single Family-10 and Single Family-8 Zoning Districts to a Planned Development District with an underlying Single Family-S (SF-S) base zoning district to build a single family subdivision. (PD115-2016)

- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: Decrease in our property values
This being used for lower income housing

PROPERTY OWNER NAME (print): CHARLES & PARENDA LITTLE
SIGNATURE: Charles Little, Parenda Little
ADDRESS: 7201 AIRLINE DR., ROWLETT, TX

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14th of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5th of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Development Service Department by 5 pm on Wednesday, June 8, 2016, for your comments to be included in the Planning and Zoning Commission packet and/or by Wednesday, June 29, 2016, to be included in the City Council packet. All responses received by Wednesday, June 29, 2016, will be forwarded to the Council as well; it is not necessary to respond twice. Responses received after the times noted above shall not be counted in the record of response.

Any owner of property subject to a proposed rezoning or affected by a proposed rezoning may protest the rezoning by filing a written protest (this form is sufficient) with the Director of Development Services within the time specified above. The protest shall object to the zoning map amendment, contain a legal description of the property on behalf of which the protest is made, and be signed by the owner of the property. If protests in the form of opposition are received from property owners within 200 feet of the subject property, and the property owners own a combined minimum of 20 percent or more of the land area, approval by the city council shall only occur with a concurring vote of at least three-fourths of the full membership of the city council.

Table with 2 columns: Contact information for questions and return instructions by fax or mail.



**Department of Development Services**

**NOTICE OF PUBLIC HEARING**

06-09-16P02:03 RCVD

**TO:** Property Owner  
**RE:** Application for a Zoning Change  
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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:**

*LOWER PROPERTY VALUE WITH SMALLER LOTS*

**PROPERTY OWNER NAME**  
(print):

*ROBERT WING*

**SIGNATURE:**

**ADDRESS:**

*7205 TRAVELERS CROSSING ROWLETT, TX 75089*

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14<sup>th</sup> of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5<sup>th</sup> of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

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If you have any questions concerning this request, please contact the Department of Development Services  
 Phone 972-412-6166  
 FAX 972-412-6228  
[glangford@rowlett.com](mailto:glangford@rowlett.com)

**RETURN BY FAX OR MAIL**  
 City of Rowlett  
 Development Services  
 PO Box 99  
 Rowlett, TX 75030-0099



Department of Development Services

NOTICE OF PUBLIC HEARING

TO: Property Owner
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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: THIS REZONING WILL INCREASE THE POPULATION DENSITY OF THE AREA

AND INCREASE THE PROPERTY TAXES OF EXISTING ADJACENT PROPERTIES

PROPERTY OWNER NAME

(print): FREDRIC J AND GLORIA J. CARLSON
SIGNATURE: [Handwritten Signature]
ADDRESS: 7117 TRAVELERS CROSSING, ROWLETT, TX 75089

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## Department of Development Services

### NOTICE OF PUBLIC HEARING

**TO:** Property Owner

**RE:** Application for a Zoning Change

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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:** Decrease in our property values  
This being used for lower income housing

**PROPERTY OWNER NAME**

(print):

CHARLES & DARENDA LITTLE

**SIGNATURE:**

Charles Little Darennda Little

**ADDRESS:**

7201 AIRLINE DR., ROWLETT, TX

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please contact the Department of Development  
Services

Phone 972-412-6166

FAX 972-412-6228

glangford@rowlett.com

**RETURN BY FAX OR MAIL**

City of Rowlett

Development Services

PO Box 99

Rowlett, TX 75030-0099



**Department of Development Services**

**NOTICE OF PUBLIC HEARING**

05-08-16A08:31 RCVD

**TO:** Property Owner  
**RE:** Application for a Zoning Change  
**LOCATION:** The subject property is located at 7900 Chiesa Road further described as being 26.06 +/- acres consisting of all of Tract I in the James Saunders Survey, Abstract No. 1424, and a portion of Lot 1, Block 1, Crossroads Church Addition, City of Rowlett, Dallas County, Texas. A map is attached for reference. This notice and the notification area are required under Chapter 211.007 of the Texas Local Government Code.  
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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

**COMMENTS:**

---

**PROPERTY OWNER NAME**

(print):

*Michelle Herrera*

**SIGNATURE:**

*M Herrera*

**ADDRESS:**

*7113 Traveler's Crossing*

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14<sup>th</sup> of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5<sup>th</sup> of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

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 FAX 972-412-6228  
[glangford@rowlett.com](mailto:glangford@rowlett.com)

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 City of Rowlett  
 Development Services  
 PO Box 99  
 Rowlett, TX 75030-0099



Department of Development Services

COURTESY NOTICE OF PUBLIC HEARING

06-08-16A08:31 RCVD

TO: Property Owner
RE: Application for a Zoning Change
LOCATION: The subject property is located at 7900 Chiesa Road further described as being 26.06 +/- acres consisting of all of Tract I in the James Saunders Survey, Abstract No. 1424, and a portion of Lot 1, Block 1, Crossroads Church Addition, City of Rowlett, Dallas County, Texas. A map is attached for reference.
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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

PROPERTY OWNER NAME

(print):

SIGNATURE:

ADDRESS:

Kathy Vanciel / Kathy Vanciel
17302 Maplewood Rowlett, TX 75089

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14th of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5th of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

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If you have any questions concerning this request, please contact the Department of Development Services
Phone 972-463-3906
FAX 972-412-6228
kgoodrich@rowlett.com

RETURN BY FAX OR MAIL
City of Rowlett
Development Services
PO Box 99
Rowlett, TX 75030-0099



Department of Development Services

COURTESY NOTICE OF PUBLIC HEARING

TO: Property Owner
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- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: 1) SFS is too Dense. SF8 would be better. 2) Chiesa Rd cannot handle the additional volume of traffic. 3) SFS only allows front entry, J-Swing are better. 4) Current Market can support FS-8.

PROPERTY OWNER NAME (print): Joey Boyd
SIGNATURE: [Signature]
ADDRESS: 7301 Fairfield Drive, Rowlett, TX 75089

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14th of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5th of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.
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06-06-16A07:32 RCVD



Department of Development  
Services

COURTESY NOTICE OF PUBLIC HEARING

TO: Property Owner  
RE: Application for a Zoning Change

06-03-16P02:07 RCVD

LOCATION: The subject property is located at 7900 Chiesa Road further described as being 26.06 +/- acres consisting of all of Tract I in the James Saunders Survey, Abstract No. 1424, and a portion of Lot 1, Block 1, Crossroads Church Addition, City of Rowlett, Dallas County, Texas. A map is attached for reference.

EXPLANATION OF REQUEST: The applicant requests a rezoning from the existing Single Family-10 and Single Family-8 Zoning Districts to a Planned Development District with an underlying Single Family-5 (SF-5) base zoning district to build a single family subdivision. (PD115-2016)

- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
- I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS:

PROPERTY OWNER NAME

(print):

Jason M. Peater

SIGNATURE:

*Jason M. Peater*

ADDRESS:

7218 Saturn Drive Rowlett TX 75089

Your written comments are being solicited in the above case. Additional information is available in the Department of Development Services located at 3901 Main Street. The Planning and Zoning Commission of the City of Rowlett, Texas, will hold a public hearing at 7:00 p.m. on the 14<sup>th</sup> of June, 2016, and that the City Council will hold a public hearing at 7:30 p.m. on the 5<sup>th</sup> of July, 2016. Both hearings will be held at the Municipal Center, 4000 Main Street, Rowlett, Texas.

Please legibly respond in ink. If the signature and/or address are missing, your comments will not be recorded. Your response must be received in the Development Service Department by 5 pm on Wednesday, June 8, 2016, for your comments to be included in the Planning and Zoning Commission packet and/or by Wednesday, June 29, 2016, to be included in the City Council packet. All responses received by Wednesday, June 29, 2016, will be forwarded to the Council as well; it is not necessary to respond twice. Responses received after the times noted above shall not be counted in the record of response.

If you have any questions concerning this request, please contact the Department of Development Services

Phone 972-463-3906  
FAX 972-412-6228  
kgoodrich@rowlett.com

RETURN BY FAX OR MAIL

City of Rowlett  
Development Services  
PO Box 99  
Rowlett, TX 75030-0099



Department of Development Services

COURTESY NOTICE OF PUBLIC HEARING

06-10-16A09:00 RCVD

TO: Property Owner
RE: Application for a Zoning Change
LOCATION: The subject property is located at 7900 Chiesa Road further described as being 26.06 +/- acres consisting of all of Tract I in the James Saunders Survey, Abstract No. 1424, and a portion of Lot 1, Block 1, Crossroads Church Addition, City of Rowlett, Dallas County, Texas. A map is attached for reference.
EXPLANATION OF REQUEST: The applicant requests a rezoning from the existing Single Family-10 and Single Family-8 Zoning Districts to a Planned Development District with an underlying Single Family-S (SF-S) base zoning district to build a single family subdivision. (PD11S-2016)

- I AM IN FAVOR OF THE REQUEST FOR THE FOLLOWING REASONS:
I AM OPPOSED TO THE REQUEST FOR THE FOLLOWING REASONS:

COMMENTS: OPPOSED smaller lots - please keep standards the same
Concerns about effecting market values, conditions, not smaller but bigger.
PROPERTY OWNER NAME Location would be great for parks, play grounds.
MARK HOOD

SIGNATURE: [Handwritten Signature]
ADDRESS: 6701 Fairfield Rowlett TX 75089

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City of Rowlett
Development Services
PO Box 99
Rowlett, TX 75030-0099